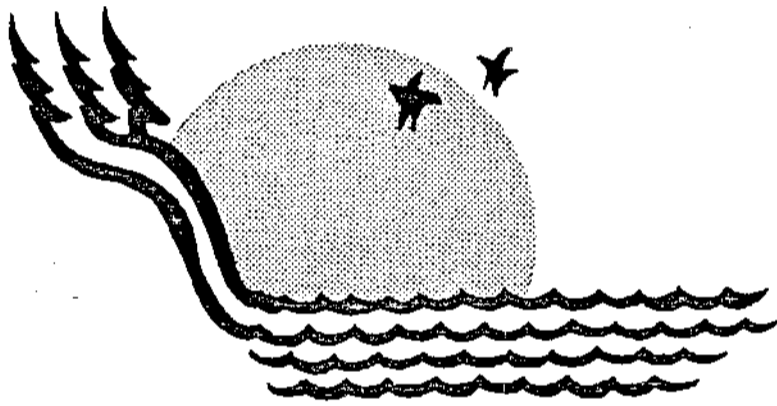


Architectural Guidelines And Resolutions



Roses Bluff

Ross Barnett Reservoir

October, 1982

This document was originally prepared by Eley Associates, Architects. The version appearing on this WEB site has been created from a scanned copy and re-formatted. The document on file at the Madison County Court House, Canton, MS is the only official version.

The Roses Bluff Homeowners Association by and through its Board of Directors appoints an Architectural Review Committee (ARC) . The purpose of the ARC is to maintain consistency and continuity of the subdivision's overall image. Please note that any change in the landscape, drainage, exterior of houses and roofs require approval from the ARC. The ARC should be contacted before a change is made. Ask your real estate agent to obtain for you a copy of these guidelines and amendments from the Madison County Chancery Clerk's office in Canton, MS.

Architectural Guidelines and Resolutions Roses Bluff

Prepared by:
Eley Associates, Architects
Jackson, Mississippi
October, 1982

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PREFACE

1

ARCHITECTURAL GUIDELINES

Roses Bluff is a distinctive new residential development constructed on the northern banks of the Ross Barnett Reservoir near Jackson, Mississippi. Its design combines the elegant architectural style and comfort of the historic south with the informality of today's contemporary society.

Throughout the development there is a continuity of design ranging from the roofs of wood shingles to the porches, entry ways, and signs. Within this overall common design criteria and feeling of community, different activities, and residential types will provide diversity and interest throughout the subdivision.

The Roses Bluff Architectural Guidelines and Resolutions will provide the property owner with a concise and definitive set of rules governing the development of property. The Guidelines will insure architectural compatibility and continuity while allowing for personal diversity within the framework of rules.

This document is primarily a reference tool and decision-making guide for the Roses Bluff Architectural Review Committee. It is the resource by which decisions will be made regarding residential design in general, specific aesthetic decisions (such as whether or not a certain shutter is acceptable), and all general decisions regarding the development of property within Roses Bluff.

RESIDENTIAL TYPES

Roses Bluff consists of a diverse mix of residential housing types along with community recreation areas and open space. These various land use types are described below:

Conventional Single-Family Homes. The conventional single-family home is a large, fully detached residence which should be designed to maximize views, climatic conditions, and the environmental Amenities of the site. It will become the primary housing type within the subdivision.

Garden Homes. The garden home is a single-family fully detached residence which maximizes the use of internal, rear-, and side yards. This concept is achieved by constructing the residence on or near one of the side yard lot lines. Utilization of this design method helps to consolidate open space into several garden or courtyard areas. The garden home offers a spatially oriented residence which may fully utilize its entire site for a maximum combination of indoor-outdoor living and privacy.

Town homes. The town home is a single and individual living unit in a multi-unit building. Additionally, the owner of a town home has interest in all areas and facilities common to all owners of the project. The town home concept enables an individual to own his own living unit, in a multi-unit project and to enjoy a great many of the benefits of single family home ownership without the problems of maintenance, yard upkeep, *etc.* This concept makes it possible for each unit to be separately financed, bought or sold, insured, and taxed.

Permanent Open Space. Certain areas within Roses Bluff have been designated as permanent open space. This space is intended to be preserved in its natural state in order to further beautify and enhance the environmental quality of Roses Bluff. No permanent or temporary structure may be erected or placed in a permanent open space area.

Community Area. The community area at Roses Bluff includes all roadways, walks, recreation facilities, and other developed common use structures and areas. They have been developed solely for the use of the owners of Roses Bluff and their guests.

THE PLAN REVIEW PROCESS

THE ARCHITECTURAL REVIEW COMMITTEE. The Architectural Review Committee is made up of a minimum of three persons and appointed for two year length; terms by the Board of Directors. This committee is charged with the regulation and ultimate approval of all external design decisions and considerations for all properties within Roses Bluff. As such, the Roses Bluff Architectural Review Committee shall interpret and enforce the Architectural Guidelines and Resolutions. Additionally, the Architectural Review Committee will make value judgments and recommendations regarding both the specifics, and the intent of the Guidelines.)

THE PEARL RIVER VALLEY WATER SUPPLY DISTRICT. The Pearl River Valley Water Supply District is the agency for the State of Mississippi whose jurisdiction is the Ross Barnett Reservoir and its adjacent environs. It is the responsibility of the District to oversee improvements to reservoir properties in much the same ' manner as would a city building and permit department. As such a building, permit must be obtained from the Pearl River Water Supply District.

PROCEDURE. The Architectural Review Committee meets once monthly to act upon submissions for property improvement. All submissions must be made a minimum of fifteen (15) days prior to the Committee meeting date. The review procedure is a two-step process. First, preliminary plans and preliminary specifications should be submitted to the Committee for suggested improvements and approval. Secondly, final plans and specifications should be submitted for approval. The final plans should not be submitted until the preliminary plans and specifications have been approved. The amount of total heated square footage of the residence will be checked at each step of the plan approval process by the Architectural Review Committee.

Two complete sets of documents as listed below are to be submitted to the Architectural Review Committee.

- A. Construction documents
- B. Specifications (to include paint or stain colors as listed by manufacturer's number)
- C. Site plan (see Site Design and Utilization, p. 3)
- D. Tree survey (see Tree Survey, p. 3)
- E. Landscape plan

A Plan Review Fee shall be submitted with the plans as follows:

- A. Preliminary Plans \$ 50.00
- B. Final Plans and Specifications \$100.00

Approved plans will be so noted on the front sheet of each face. Approval by the Architectural Review Committee is contingent upon approval of the Pearl River Valley Water Supply District. Decisions regarding approval or disapproval will not be unreasonably delayed.

REQUIREMENTS

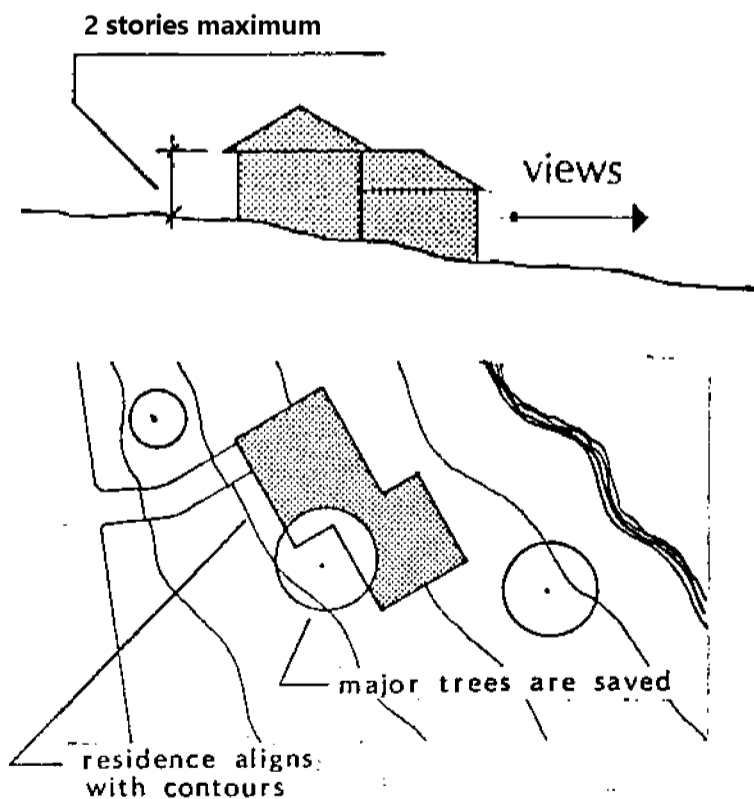
SEWAGE DISPOSAL. The use of: privies, septic tanks, cesspools or disposal plants for the disposal of sewage is prohibited unless such services are not available from the District and then any such systems| shall be located, and equipped in accordance with the requirements and standards of state and county health departments. The use of outdoor toilets is prohibited. All residences constructed in this subdivision must be connected to the Districts sewerage system.

WATER SUPPLY SYSTEM. No individual portable water supply system is permitted on any lot.

MATERIALS STORAGE. No building material of any kind or character shall be placed or stored upon a residential lot until the property owner is ready to begin improvements. No building material shall be placed or stored in the street or between curb and property line during construction.

LAND USE. All land in Roses Bluff Subdivision shall be divided into residential lots for the erection of conventional single-family dwellings, garden homes, and townhomes. Each lot shall have a numerical designation. Land shall also be divided into common parcels consisting of permanent open spaces in which walks, roadways, playgrounds, parking areas and other facilities for the common use and benefit of anyone owning property in the subdivision.

LOT DIVISION AND ADDITION. No residential lot shall be further subdivided and no more than one single-family dwelling shall be constructed or permitted on each lot. It is important that the visual appearance and streetscape quality not be altered by decreasing the density of residential units in Roses Bluff. Any such changes as might occur by placing one house on two residential lots must be approved by the Architectural Review Committee.



OBSTRUCTIONS AND VIEWS. Plans and specifications for all residences should be designed to take advantage of views, vistas, and wooded environment of Roses Bluff. Rooflines, privacy walls, or fences are not allowed to obstruct major views to the water. No structure may be taller than two stories from the street level.

SITE DESIGN AND UTILIZATION. Plans and specifications for all residences shall be designed to; conform to the natural terrain and; beauty of Roses Bluff. Every effort should be made to save major trees or other unique site features.

LANDSCAPE REQUIREMENTS. A landscape plan must be submitted for; approval by the Architectural Review Committee prior to the construction, of any residence.

TREE SURVEY. Each property owner shall submit to the Architectural Review Committee a survey of all trees on his lot with a trunk diameter of six inches or more. The submitted site plan must indicate those trees that are to be removed due to the residence construction.

GENERAL RESOLUTIONS

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EXCAVATION AND FILL. Plans and specifications for residences shall be developed to allow for minimum cutting and filling of property to insure compliance with this strategy, all residences must be built with a maximum of 18 inches of fill. In those instances where less than 18" of fill is required, a slab foundation may be used. Site plans must indicate all changes in original elevation contours as a result of the proposed construction.

FINISH FLOOR ELEVATION. No living finished floor elevation for any permanent structure shall be established below 301.0 feet, m.s.l.

COMPLETION TIMETABLE. Once property is cleared, the residence must be completed in conformance with the approved plans (including the Landscape Plan) and specifications within one year,

SERVICE YARDS. Each property; owner must provide receptacles for garbage in a screened area which is generally not visible from the street or roadway. It is advised that this area accommodate air conditioner compressors and any necessary exterior storage.

No mechanical equipment such as a filter system for a swimming pool, compressor units, heat pumps or other similar type equipment may be located in such a way as to be visible from the facing or front street, or from public view or from other property owners.

DESIGN DUPLICATION. A property owner shall not substantially duplicate the exterior elevation, in design or architecture, of any other dwelling existing on the same street. For the purpose of this paragraph, a dwelling shall be considered in existence from the time it is submitted to the Architectural Review Committee for approval.

GARAGES. Each single-family dwelling shall have an attached garage accommodating not less than two automobiles. All garages shall be finished inside and shall be equipped with wood or Masonite doors. See "Garage Doors, Construction Components Section.

ACCESSORY STRUCTURES. Accessory buildings are specifically prohibited from any residential lot within the subdivision. Portable buildings or similar structures are permitted during construction. Gazebos, pool houses, or similar structures may be constructed pending approval from the Architectural Review Board and are not considered to be accessory buildings.

TEMPORARY STRUCTURES. No structure of a temporary nature, tent, basement, shack, mobile home, garage, barn, or other out buildings shall be used on any Residential Lot or Common Parcel in Roses Bluff Subdivision at any time as either a temporary or permanent residence.

CHANGES AND ADDITIONS TO APPROVED STRUCTURES. Any changes to an approved structure (complete or incomplete to include additions, alterations, etc.) must be approved by the Architectural Review Committee prior to the commencement of construction.

CHANGES. In the interest of uniformity, appearance and to insure that all residences shall be of a quality of workmanship and materials substantially the same or better than that which can be produced on the date these guidelines are recorded, the color and kind of paint, roofing, and finished materials on the exterior of any dwelling shall not be changed or replaced from that as specified in the original design unless such changes are submitted to and approved by the Architectural Review Committee.

GENERAL RESOLUTIONS

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BUILDING USE. No residential lot shall be used for any purpose other than to contain a Conventional Single-Family dwelling, a Garden; Home, or a Townhome as established by these Guidelines.

USE CLARIFICATION. No industry, business, trade, occupation or profession of any kind shall be conducted, maintained, or permitted, on any residential lot in the subdivision. Also, no permanent or temporary sign or window advertising may be maintained or permitted within the subdivision. No noxious or offensive activity shall be carried on upon any of the lots or in any residence.

SIGNAGE. No owner or occupant of any residential lot may allow anything to be hung from windows or displayed from the outside wall of any residence other than the American Flag, plants, or similar items. No sign or radio or television antenna may be affixed to an exterior wall or roof of any structure. Each residence may contain a built-in concealed T.V. antenna or cable system if desired. No "For Sale" or "For Rent" signs may be displayed by an individual owner or their agents.

HARBORING OF ANIMALS. No animals of any kind shall be raised, bred or kept on any residential lot or any common parcel except that not more than two generally recognized house or yard pets may be kept or maintained on a residential lot provided that they are not kept, bred, and maintained for any commercial purposes and provided further, that any such pet does not cause or create a nuisance or unreasonable disturbance. All pets must be kept on a leash and under the control of their owner when outside the residence. All pets shall be properly vaccinated and registered with appropriate public authorities.

MAINTENANCE. Each occupant will maintain the appearance of his residential lot in a high quality condition. Grass, weeds, and vegetation on each residential lot shall be kept mowed and trimmed at regular intervals by the property owner so as to maintain the same in a neat and attractive manner. Trees, shrubs, and plants which die or become severely diseased should be removed promptly from residential lots.

No clothesline shall be erected or maintained on any residential lot nor shall clothes, sheets, blankets, laundry of any kind or any other articles be hung on or exposed in any of the yard portions of any of the residential lots where exposed to public view or other property; owners. Any improvement or equipment for the open air drying of laundry shall be screened from view by placement at least 6" below the fence line surrounding such residential lot.

LANDSCAPE MATERIALS. Landscape or plant materials shall not be planted or placed so as to obstruct traffic visibility or otherwise cause hazardous traffic conditions.

VEHICLE USE AND STORAGE. Use and storage of all vehicles and recreational equipment upon residential lots, roadways, and common parcels within Roses Bluff Subdivision shall be subject to rules as provided herein:

All vehicles shall be currently licensed and maintained in operating condition, so as not to cause or create hazards or nuisances by excessive noise levels, exhaust emissions, or appearance. Inoperative motor: vehicles are strictly prohibited from the subdivision except for emergency situations.

Overnight parking of all recreational vehicles and related trailers, trucks, and/or sports equipment shall be in garages or appropriately screened enclosures, designed for such parking.

GENERAL RESOLUTIONS

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No motor vehicle may be repaired (except for emergency repairs) on any lot, street, or Common Parcels within the subdivision except where such repairs are done within an enclosed garage or in an area screened from public view.

MOBILE HOMES AND TRAILERS. No house trailer or mobile home shall be admitted in Roses Bluff Subdivision at any time, whether used for residential purposes or not. Camper trailers, recreational vehicles, boats and/or boat trailers must be parked only to the rear of the main residence, unless they are enclosed in a garage. Otherwise, they must be stored within the property lot lines and not visible from the street.

COMMON PARCELS. The Common Parcels shall be kept free and clear of all garbage, rubbish, debris and other unsightly material. The placement of such material by owners of residential lots on the Common Parcels is strictly prohibited. There shall be no obstruction of the Common Parcels except as specifically, provided herein, nor shall any personal property be stored in the common areas.

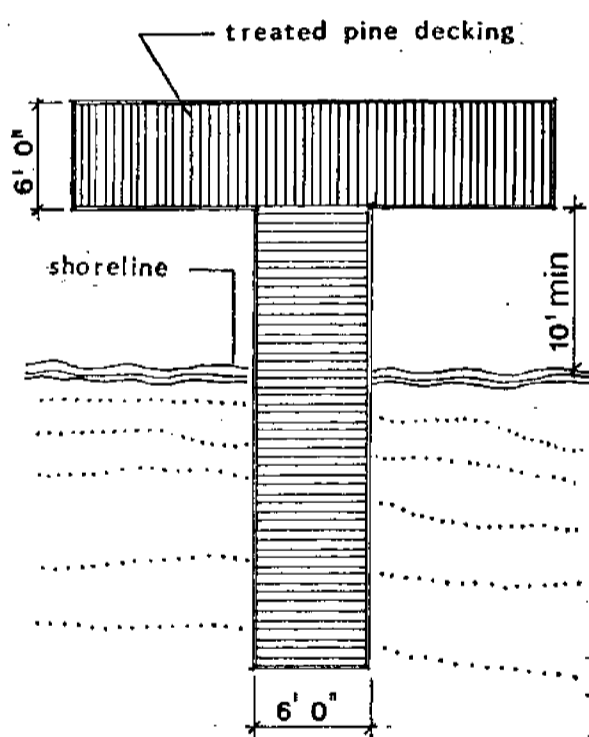
The removal of any trees or the altering of the natural features of landscape, terrain, and view within the Common Parcels is prohibited, unless previously approved by the Executive Committee of the Owners Association. The Developer or Owners Association must gain approval from the Architectural Review Committee prior to the removal of any trees or the altering of existing natural features prior or during construction of common facilities or amenity features. Plans and specifications of such features must be submitted through established review procedures.

COMMUNITY ELEMENT GUIDELINES

The Community Element Guidelines: component of the Roses Bluff Guidelines and Resolutions sets common standards for all community elements and other general use items and structures. The intent of these standards is to insure a continuity of specific elements at the streetscape. This includes both public (developer) and private (property owner) constructed items. These items include:

- a. Boat Docks
- b. Boat Houses
- c. Mail Boxes
- d. Street Signs
- e. Amenity Location Signs
- f. Walls and Fences
- g. Retaining Walls.

Design criteria for each of these items follows:



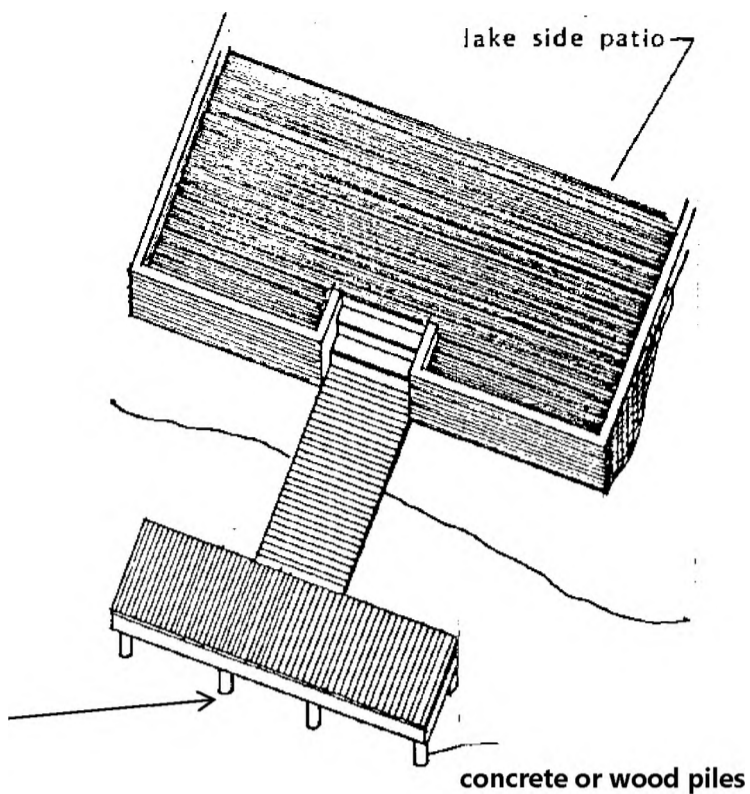
BOAT DOCKS

All boat docks must be constructed parallel to the shoreline and built from treated pine decking material as indicated in the sketch. The dock itself must be supported by piers (either concrete or treated wood) driven into the reservoir bottom. The minimum dock dimension is six feet (6") wide.

The boat dock must be linked to the shoreline with a perpendicular walkway as shown in the sketch. The length of this element may vary depending upon water depth at the specific area it is being built. However, if possible, it should align with adjacent boat docks. Its minimum width is to be six (6) feet.

The summer elevation of the reservoir water level is 297.5 feet, m.s.l. Consequently, the finished deck elevation of the dock should be constructed to 298.5 feet, m.s.l. This allows a 1' 10"

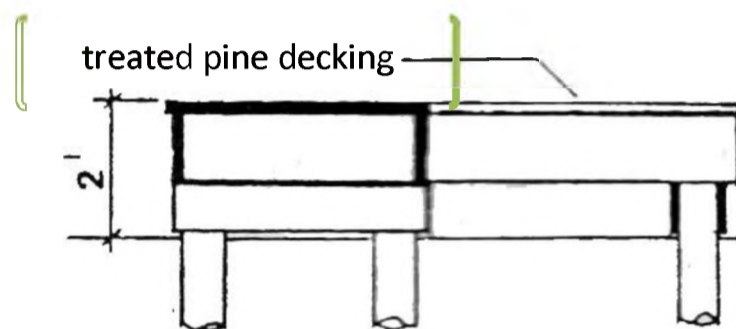
differential between the water level and the top surface of the dock.



In the event of a steep slope leading to the dock, a transition patio area may be built. This area should have a brick, treated wood deck, slate, or similar surface with appropriately located retaining walls. The retaining walls may be constructed either from brick or 6' X 6' treated pine.

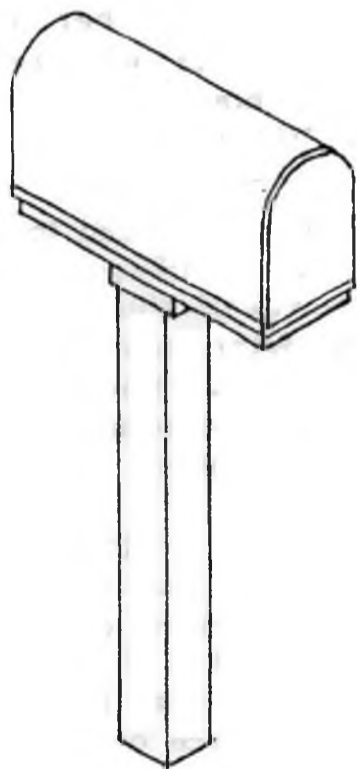
BOAT HOUSES

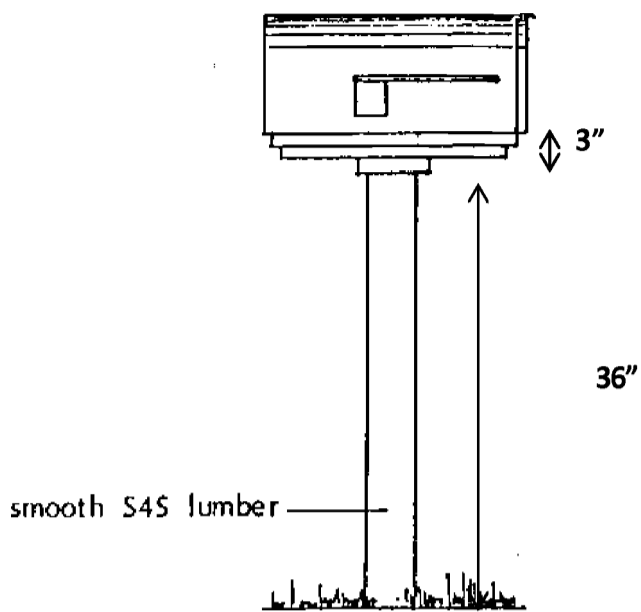
The Pearl River Water Supply District doe: not allow the construction of boat houses it or along the Ross Barnett Reservoir.



MAIL BOXES

All mail boxes in Roses Bluff should be built to the specifications as described in the sketch. The box must be a standard receptacle for U. S. mail as approved by the Postmaster General with rounded top and outside dimensions of 8 3/4 * height, 6 1/2 ' width, and 19 1/4* length. .

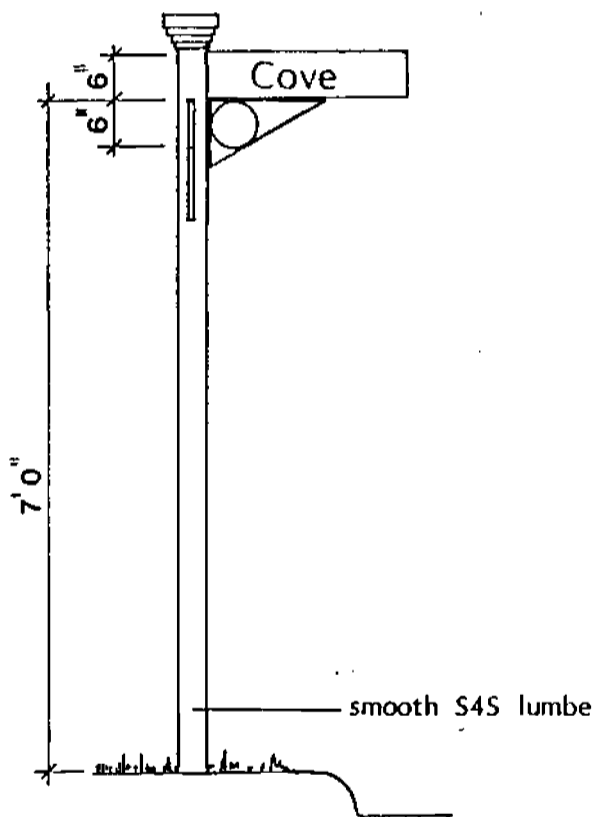




The base of the mail box must be 36" above the curb height and supported by a 5 1/2" X 5 1/2" painted post. The base must be built as described in the sketch.

The mail box and post are to be painted the following colors:

- Post Devoe No. 178A Woodland Green
- Base Devoe No. 299-2J Colonial White
- Box Devoe No. 299-2J Colonial White
- Flag Devoe No. 168A Woodland Green



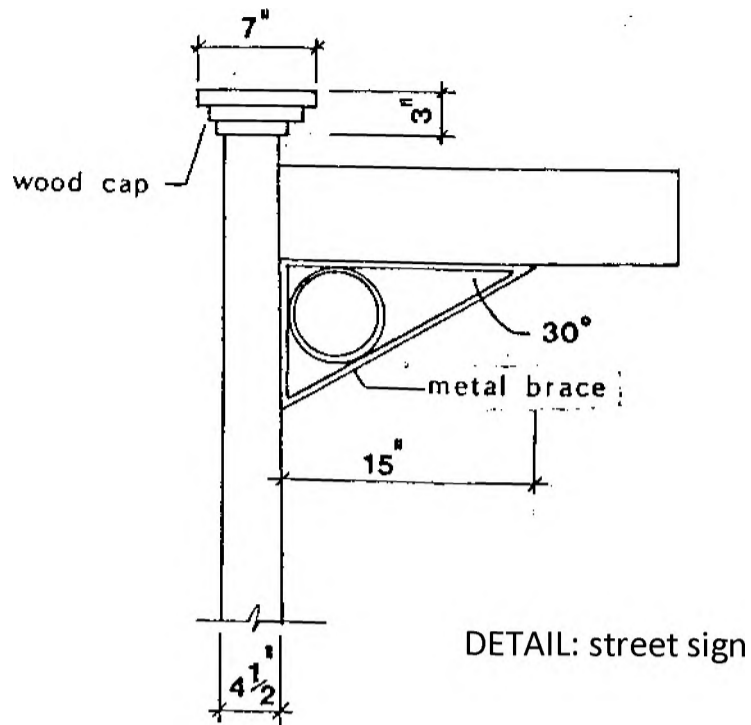
STREET SIGNS

Street signs must be built to adhere to the design criteria shown in the sketches.

The sign must be mounted to a 3 1/2" X 3 1/2" wooden post with the lower sign at 7*0* above curb height. Each sign must be 6" ' High by 24* long with 4* high Gothic upper and lower case lettering.

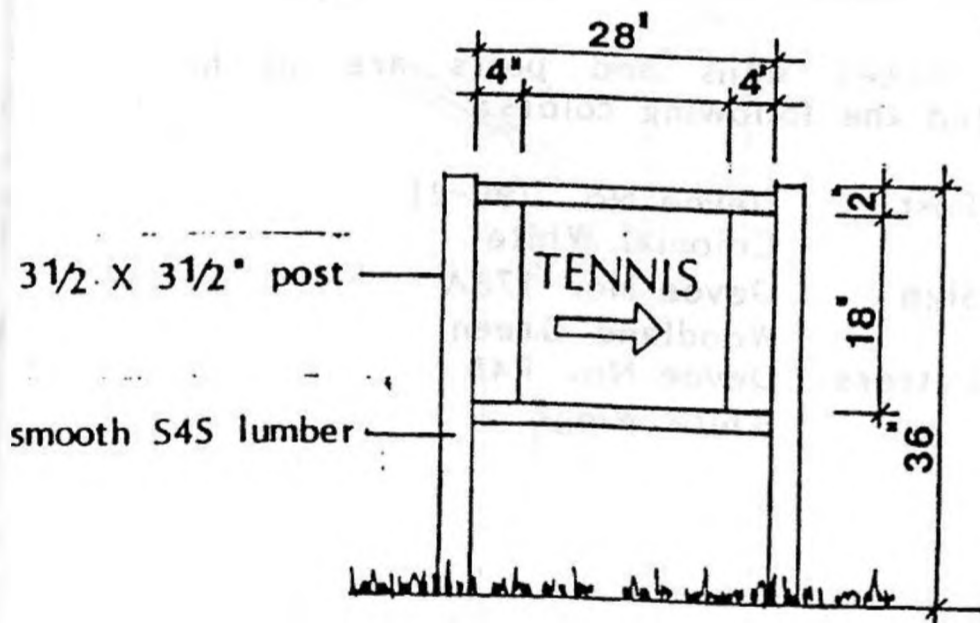
The street signs and posts are to be painted the following colors:

- Post Devoe No 299-2J Colonial White
- Sign Devoe No. 178A Woodland Green
- Letters Devoe No. P48 White Wings



AMENITIES LOCATION SIGNAGE

The Amenity Location signs direct residents and guests to specific community facilities within Roses Bluff. These signs should be built to the dimensional specifications shown in the sketch.

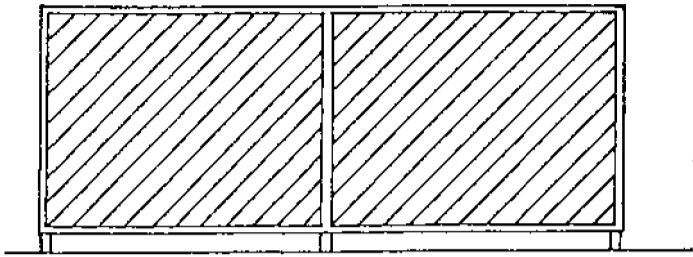


The Amenity Location signs are to be painted the following colors:

Post	Devoe No. 178A	Woodland Green
Sign	Devoe No. 178A	Woodland Green
Letters	Devoe No. P48	White Wings

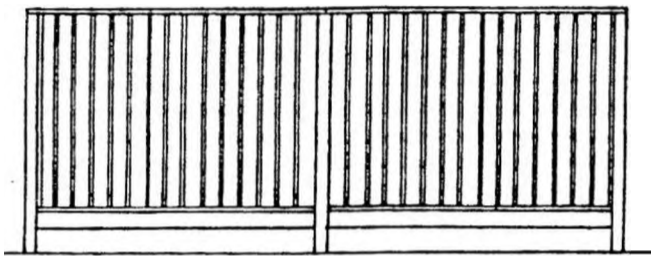
WALLS AND FENCES

length shall be in 8'0" modules

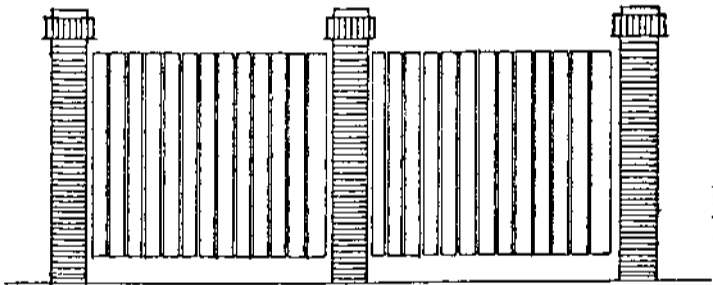


All walls or fences should follow the criteria as shown. Several material options are recommended. They are 1) brick, 2) brick and wood, 3) wood, and 4) lattice screen. All wood fence material should be left natural or coated with semi-transparent stain. All options and their dimensional specifications are shown in the sketches.

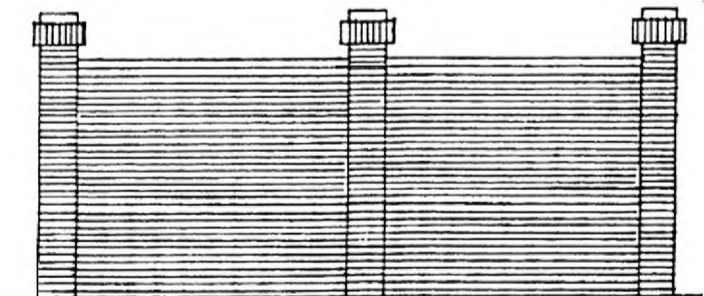
Care should be taken to insure that compatible fence materials are used at common or adjacent lot lines. Consequently, if a property owner has built a fence of brick and wood, the adjacent property owner should make every effort to build his adjacent fence in a compatible manner.



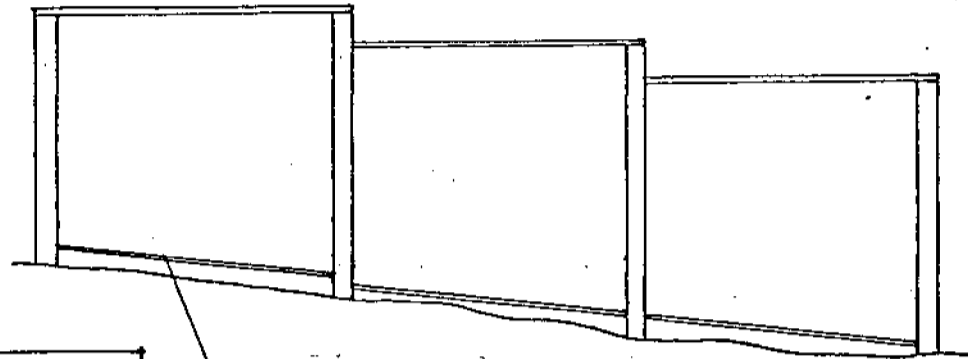
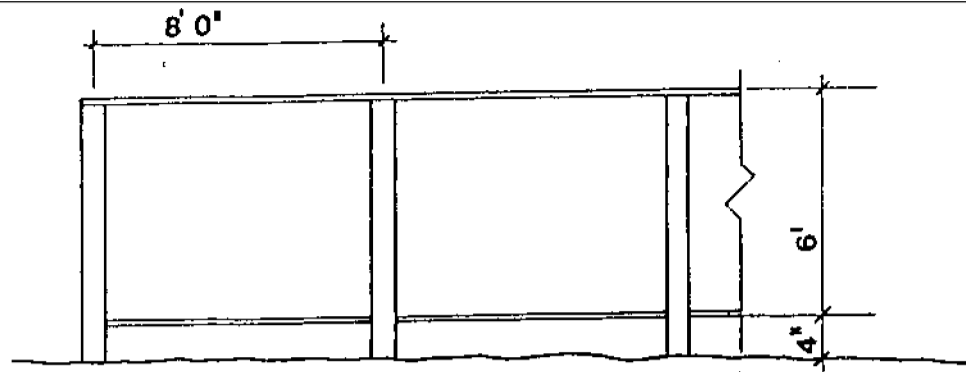
Wood



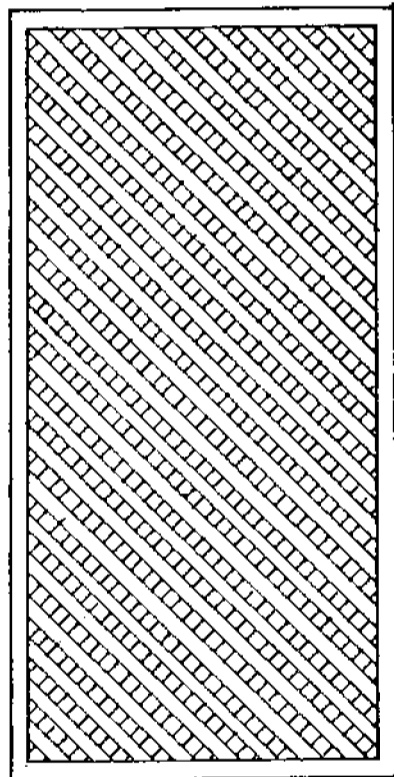
Wood & Brick



Brick



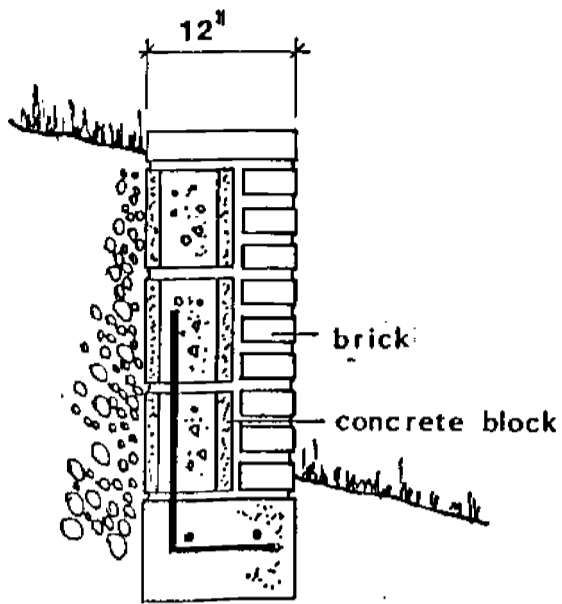
fences must remain parallel, elevation changes to be handled as shown.



lattice screens must be built in modules of 4'0"

LATTICE SCREEN

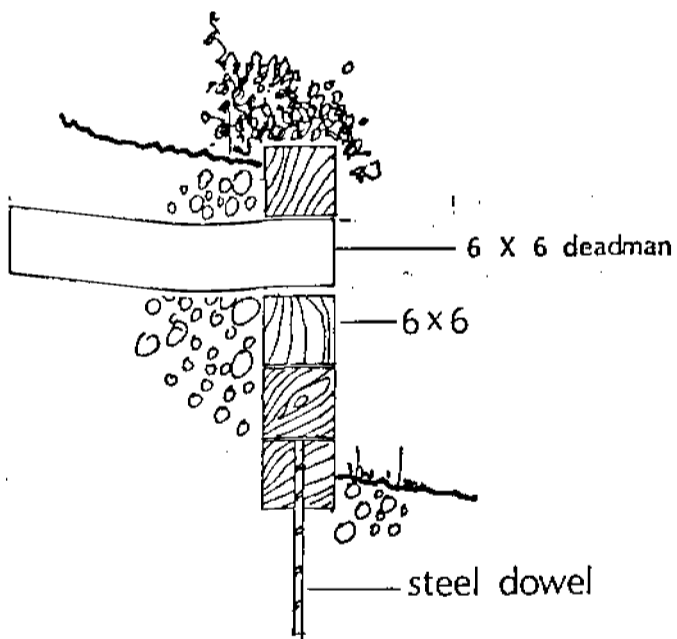
RETAINING WALLS



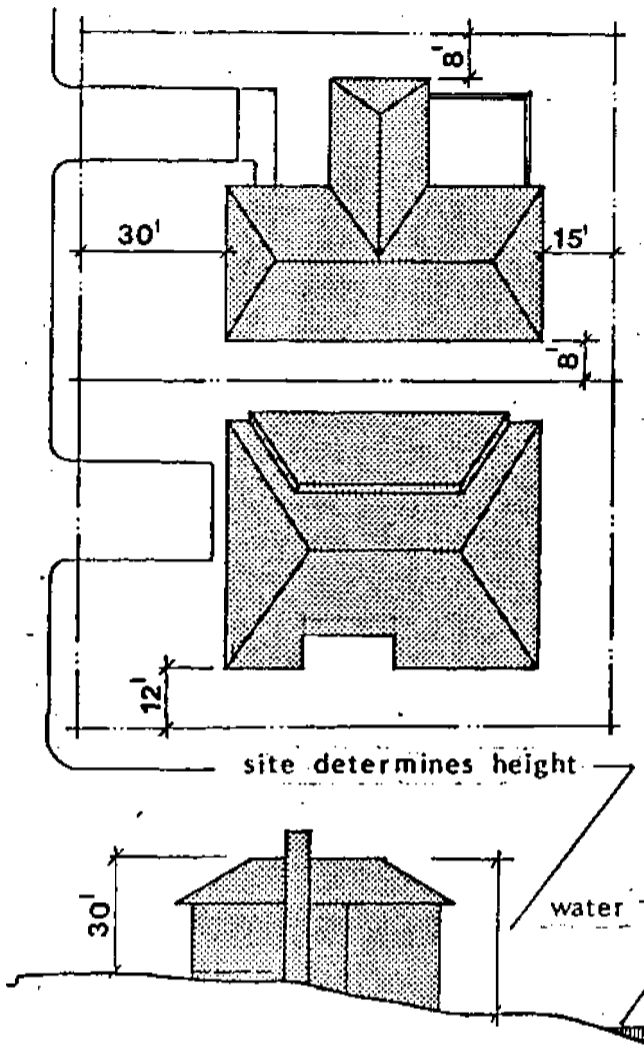
Retaining walls should be 12" thick with a single 12" rollock brick top. Walls may be constructed of concrete block and faced with brick. The concrete block unit may not be visible on either side of the wall. The sketch shows a typical usage, of the wall with dimensional specification provided.

As an alternative, retaining walls may be constructed from 6' X 6' treated pine members as demonstrated in the adjacent sketch.

BLOCK



WOOD



SINGLE FAMILY HOMES

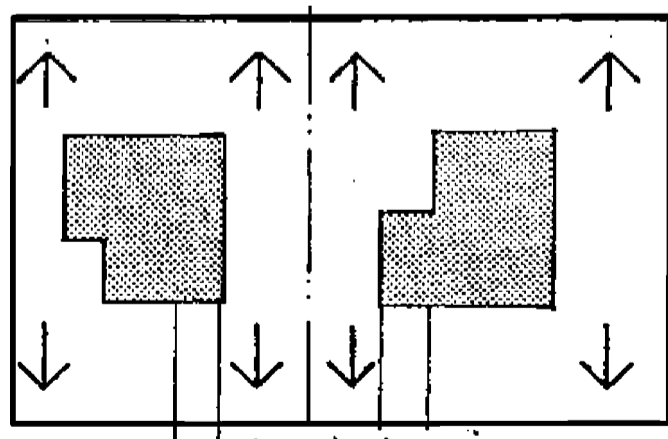
Generally, most of the conventional; single-family lots require building setbacks from the property lines as described in the adjacent diagrams. Specifically, they are:

Side	8' 0"
Front	30' 0"
Rear	15' 0"

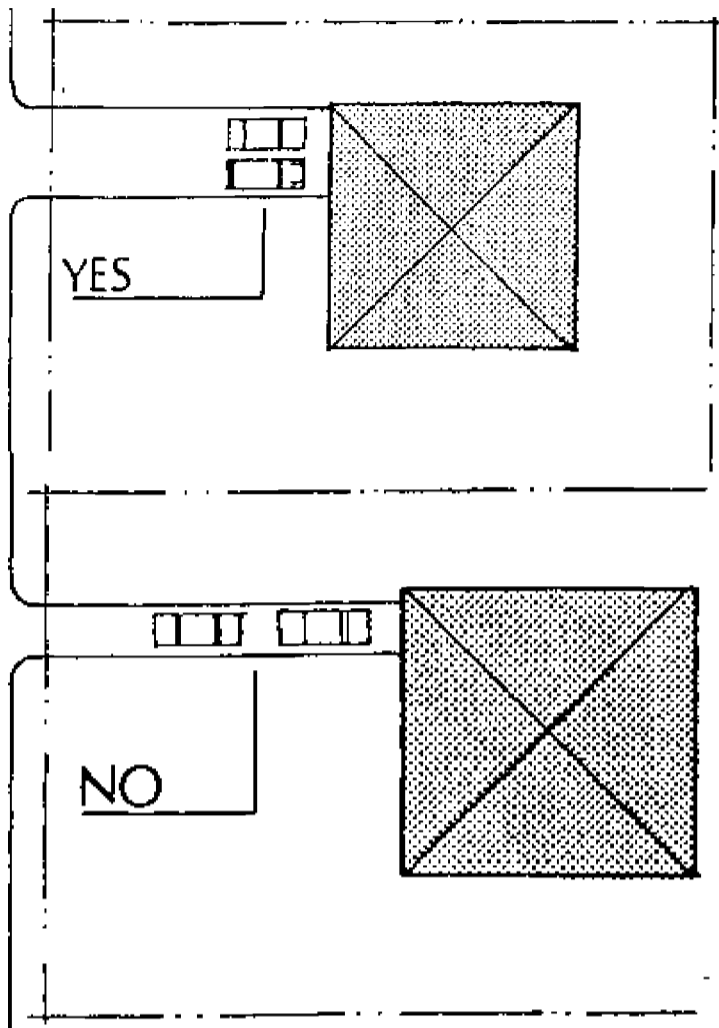
Exceptions do exist. Refer to the specific lot analysis in the Appendix for a particular lot. Additionally, as demonstrated in the left sketch, corner lots require a 12' 0" side yard setback on the side of the corner street intersections.

HEIGHT RESTRICTIONS. Residences are limited to two stories or 30' in height at the street. This dimension is measured from the exterior finish grade elevation to the highest exterior point of the structure (excluding chimneys). There is no limitation of height or number of stories on the rear elevation of water front lots. Note the sketch which illustrates this point.

DRAINAGE AND RUNOFF. All run off of storm water from the roof of each residence shall be directed to the front and/or rear of the property with no runoff allowed to fall on any adjacent lot. In situations where the roof form forces water in the direction of adjacent property, drainage swales must be utilized to insure runoff is directed to the front and rear of property. Gutters should be used to minimize roof water runoff in such instances.



site drainage'



OFF-STREET PARKING. Each conventional single-family resident should provide for two permanent parking spaces and two guest parking spaces. All four of these spaces must be permanent and off the street. Stacking of vehicles on a single width driveway is not allowed.

PARKING PADS. The driveway and parking area should be constructed from either 3-1/2" broom finished concrete or brick pavers atop a 3-1/2" concrete pad.

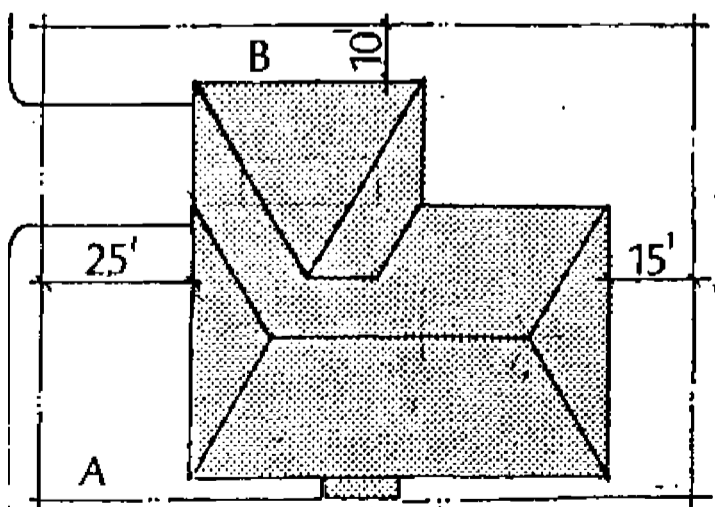
SWIMMING POOLS. All private residential swimming pools should be screened from the street and constructed in the rear yard. The actual pool (not surrounding patio or deck) may not be built closer than 15' from either side yard lot line or 15' from the rear property line provided the property abuts other residential property at the rear. In the event there is no adjacent residential property at the rear (as with water front lots), there is no rear yard setback.

MINIMUM SQUARE FOOT REQUIREMENTS.

The minimum interior, heated, and finished floor area for all conventional single-family homes is 2,400 square feet. Porches, decks, open areas, and garages are excluded from the 2,400 square feet.

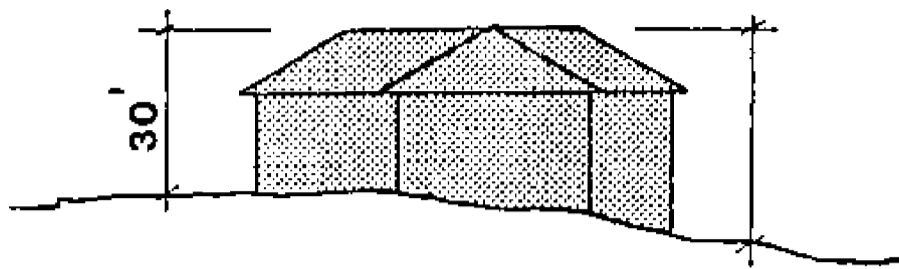
GARDEN HOMES

All Garden Homes require specific side yard setbacks as described in the adjacent sketch. Measurements must be taken from the outside face of the eave.



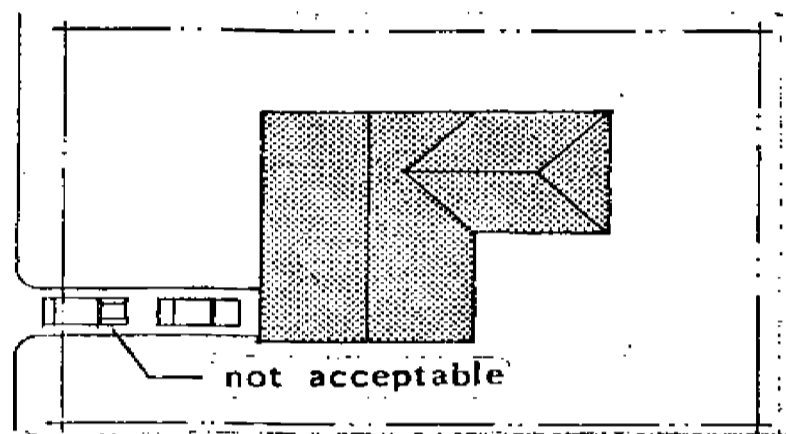
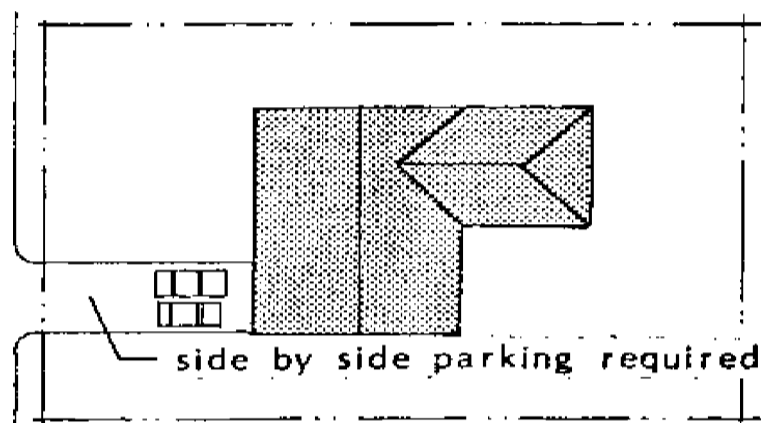
The setbacks are:

Side A	Zero
Side B	10' 0"
Front	25' 0"
Rear	15' 0"



Specified individual houses must be constructed along the established Zero Lot Line. In no case shall any two houses share a common Zero Lot Line or otherwise become attached or semi-attached structures.

HEIGHT RESTRICTIONS. Garden Homes are limited to two stories or 30' in height at the street. As with the single family house, this dimension is measured from the exterior finish grade elevation to the highest exterior point of structure (excluding chimneys). The sketch at left illustrates this point.



OFF-STREET PARKING. Each Garden Home needs to provide for two permanent parking spaces and two guest parking spaces. All four of these spaces should be permanent and off of the street. Stacking of vehicles on a single width driveway is not acceptable.

DRAINAGE AND RUNOFF. All drainage and runoff should be handled in a manner as described on page 20 with regard to the Single Family Home.

PARKING PADS. Parking pads must be constructed from a 3-1/2" minimum wire reinforced concrete slab with a broom finish.

SWIMMING POOLS. All private residential swimming pools must be screened from the street and constructed in the rear or side yard. Specific requirements are similar to those for Single Family Homes as described on page 15.

MINIMUM SQUARE FOOT REQUIREMENTS.

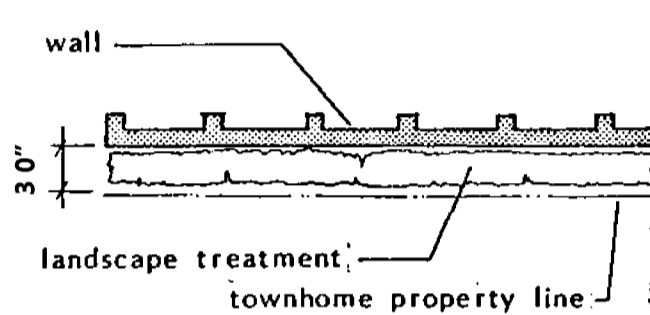
Lots 15-21	1,900 S. F. minimum
Lots 36-39	2,000 S. F. minimum
Lots 57-68	1,750 S. F. minimum
Lots 70-74	1,800 S. F. minimum
Lots 81-85	2,400 S.F. minimum

THE ZERO LOT LINE. In order to insure maximum privacy and full utilization of the Garden Home concept, no views should be allowed into courtyards and, side yards of adjacent houses. Consequently, windows should either be carefully placed or omitted altogether in the zero lot line wall of the residence.

TOWN HOMES

Townhomes require setbacks as follows:

- Front 15' 0" (side facing street regardless of actual configuration of units)
- Side 60' 0"
- Rear 60' 0" (side facing adjacent residential property regardless of the actual configuration of the units)



LANDSCAPE BUFFERS. Major landscape buffer treatment is required between townhome lots and any abutting or adjacent conventional single-family or garden home properties. The landscape buffer is required in addition to any man-made buffer such as privacy walls and fences. This landscape treatment is to occur inside the townhome property line.

PARKING REQUIREMENTS. Two permanent, covered and enclosed off-street parking spaces must be provided for each townhome unit built per site.

RECREATION AREAS LOCATION. All common townhome recreation areas such as tennis courts, basketball courts, swimming pools, clubhouses, etc., should be located no closer than 60¹ from the ! nearest conventional single-family or garden home property line.

WASTE DISPOSAL CONTAINERS. All containers for waste disposal and garbage must be fully screened in an area which prevents the disposal container from being seen from the street, parking area, or other vehicular or pedestrian space. All waste disposal container screens should be fully landscaped.

CONSTRUCTION GUIDELINES

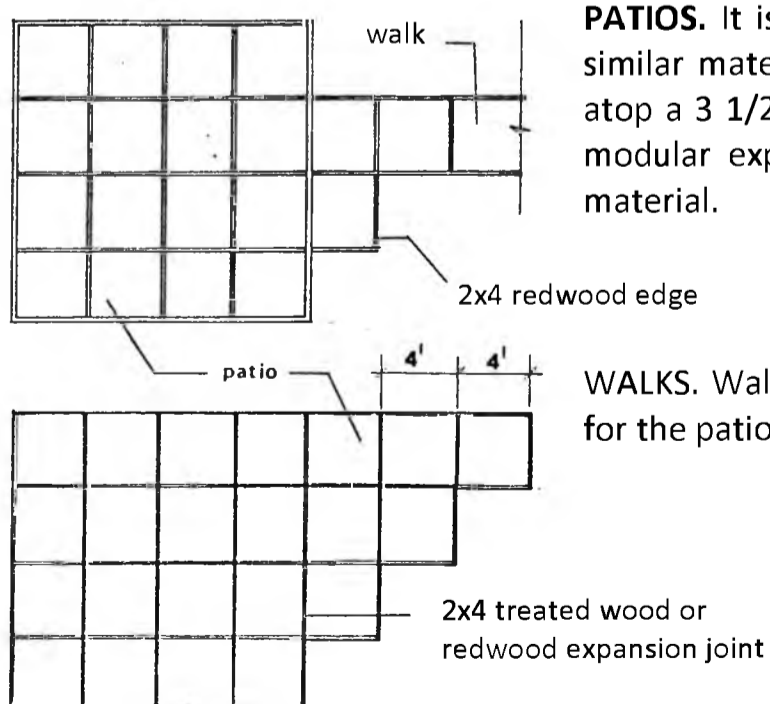
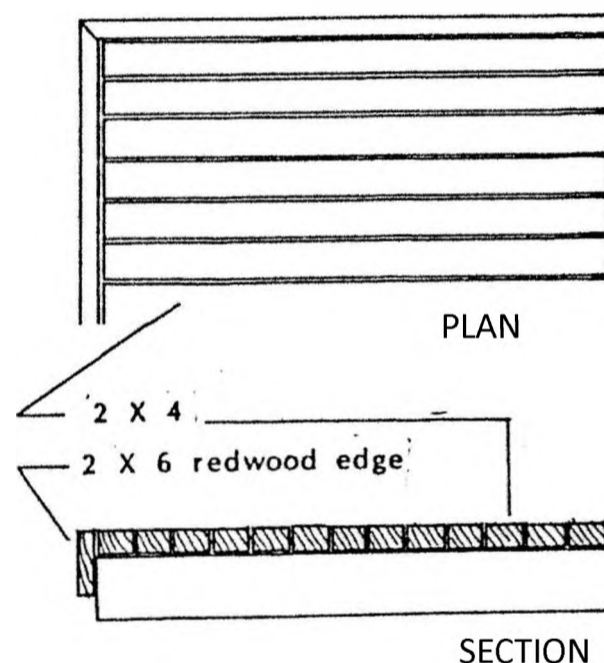
18

CONSTRUCTION GUIDELINES

Construction guidelines have been established to insure continuity within Roses Bluff Subdivision. It is not the intention of these criteria to limit flexibility; however, by defining a range of materials, colors, and unit choices for the individual dwelling units, a general framework will be established from which individual decisions may be made. The sketches, diagrams, and descriptions which follow establish the overall aesthetic order and decision-making-framework for all residential areas of Roses Bluff.

LANDSCAPE AND GROUNDS

DECKS. Decks should be from 2X4 redwood or treated pine. The structural undercarriage should be treated pine. Only hot dipped zinc or aluminum casement nails should be used for nailing down the decking.



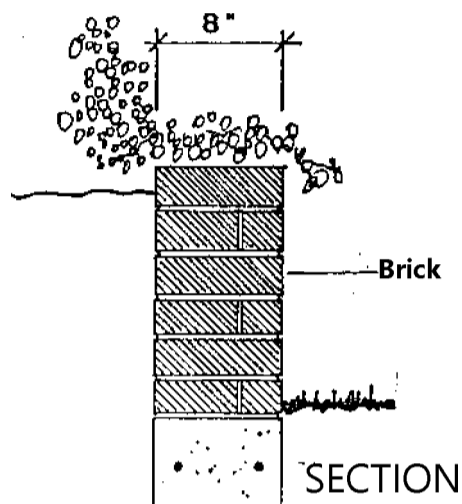
PATIOS. It is recommended that all patios be constructed of brick pavers or similar material such, as slate, flagstone, or quarry tile. The paver should be atop a 3 1/2' thick concrete slab. The sketches demonstrate the use of wood modular expansion joints as a means of breaking up large areas of paving material.

WALKS. Walkways should be constructed in a manner similar to that selected for the patios in order to insure consistency and continuity.

PLANTERS.

Planters should be constructed either from brick as shown in the sketch at the left or from 6' X 6' treated pine. Refer to Retaining Walls, page 13.

WALLS AND FENCES. All walls and fences must adhere to criteria as established in the Community Element Guidelines section of this document.

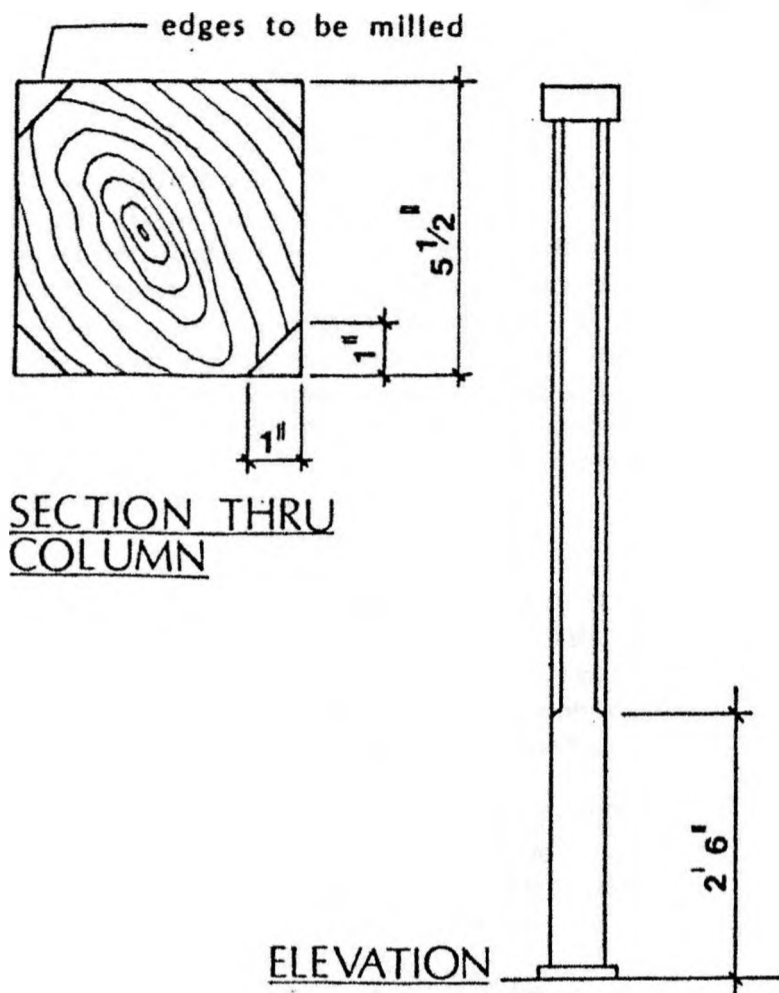
**CONSTRUCTION COMPONENTS**

ROOFS. All roof materials must be selected from either 18" cypress shingles or No. One Blue Label cedar shingles. Exposure of each individual shingle should be 5 1/2 inches

EXTERIOR WALLS. Exterior wall surfaces are limited to a maximum of three materials: 1) brick, 2) stucco, and 3) wood siding. A minimum of two of the three materials should be used on each residence. A description of each material follows:

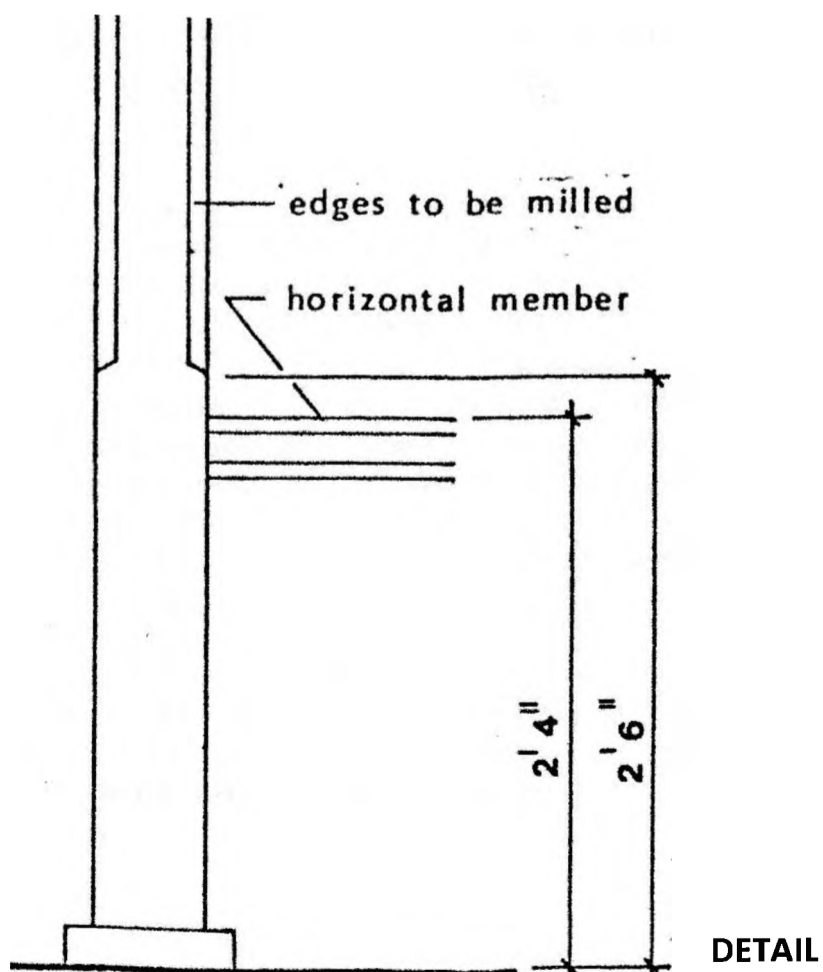
BRICK. Brick should be selected from one of the three choices listed below:

1. Tri State Brick and Tile Company Cherry Red Smooth, or Cherry Red Velour. This brick may be used only when the surface is to be painted (or approved equal).
2. Carolina Red (or approved equal) Homestead - Shade No. 700
3. St. Joe, Full Range (or approved equal).

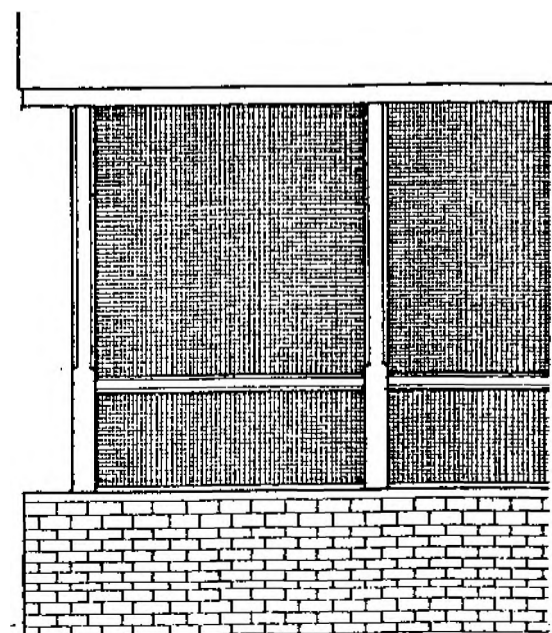


COLUMNS. It is recommended that columns of a style similar to the adjacent details be used in all residences of Roses Bluff. And, while the specific, milled details may be individual, columns should not be larger than 6" in diameter.

The sketch below shows a column at a screen porch.



CONTEXT



COLOR. Colors for various components of all residential structures are to be chosen from the following list. The selection process should begin with a brick choice in either painted or natural. Colors should be chosen with regard to their relationship to the color of the brick. All colors as listed are manufactured by Devoe and Reynolds Company of Louisville, Kentucky. Approved equals are acceptable.

Brick. Either painted or left natural. If painted, use Pittsburg Paints P-2636, Sand Bar. (If brick is painted, chimneys must be included).

Porch Ceiling.
Option No. One-2606, Copenhagen Blue
Option No. Two-P40 Oriental Charm (White)

Exterior Trim and Soffits (includes all columns, railings, and exposed rafters) .

Option No. One ____ - Pittsburg Paints P,2532, Warm White

Option No. Two - Wooden doors or wooden shutters and porch handrails may be coated with a clear sealer, stained a dark color which compliments the overall color schedule, or painted #2606 (Copenhagen Blue). Alternately, they may be painted a darker shade of the selected stucco or siding color. Wooden sills may be painted a darker hue of the siding or stucco color.

STUCCO AND WOOD SIDING. All stucco and siding must be painted the same color. Only one of the above colors may be used.

Yellows - Yellow Whites

277G	Tusk
281C	Bridal Wreath
276H	Ivory White
277H	Butter Cream

Green	Greys
297 F	Chicadee
297 F	Feather Gray
297G	Neutral White
297H	Chinchilla

Neutral Brown - Beiges	
288G	Doeskin
291 F	Cereal
291G	Cookie Beige
288H	Bamboo Beige
291 H	Wistful Beige
293H	Dutch Cream

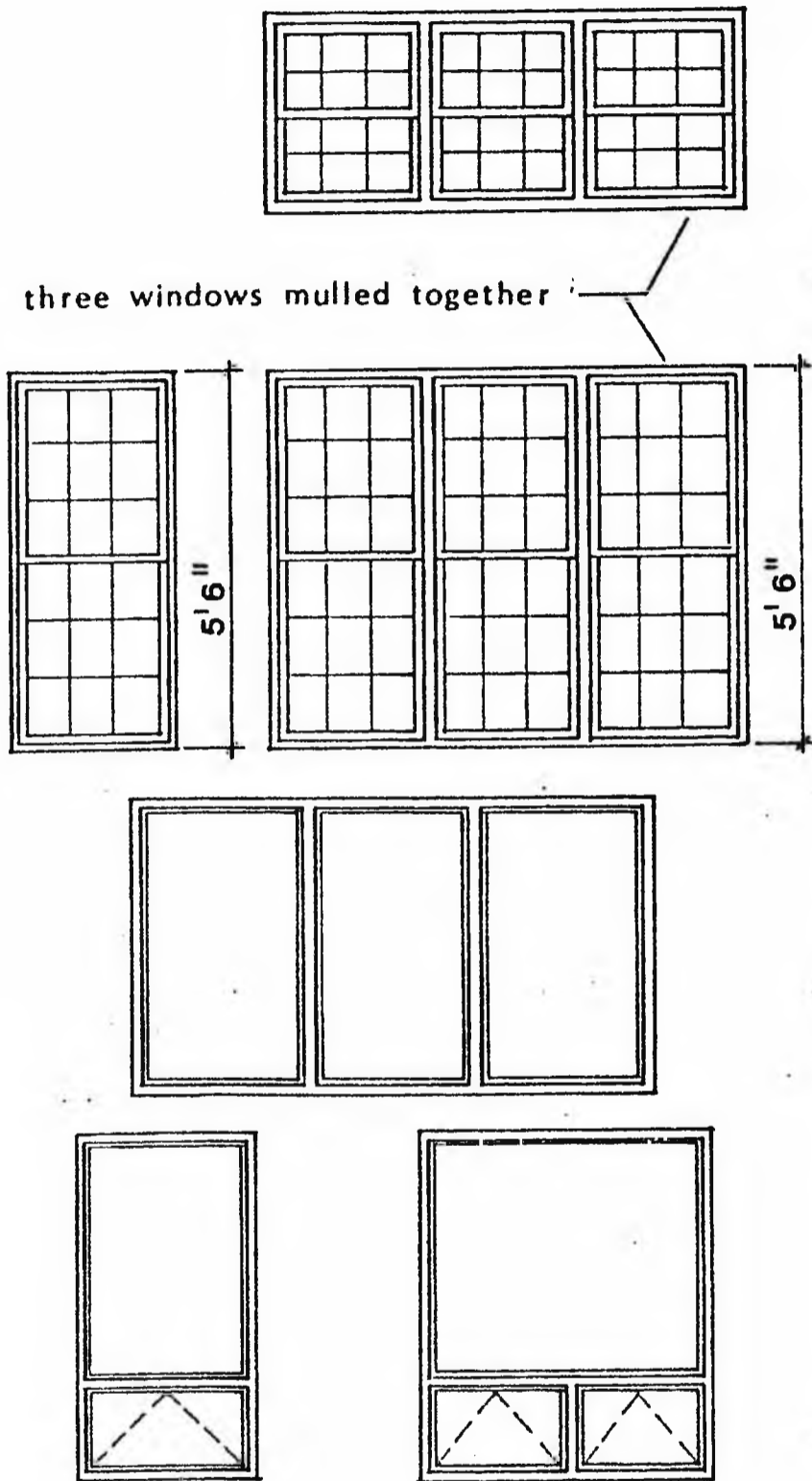
Blue Greys	
260F	Blue Thistle
260C	Copenhagen
260H	Dover Blue
Green	- Green

2960H	Mountain M
269G	Leak
275H	Antique Line

Red	Beiges
287C	Pink Dusk
287H	Pink Beige
2840C	Desert Dawn
289H	Powder Puff
289C	Light Apricot
290C	Vicuna

Greys	
258G	Baniff Gray
298H	Gray Cloud
298C	Badger
258H	Evening Gray

Note: All Garden Homes must use painted brick.



WINDOWS. All windows should be double insulated and constructed from wood. Cladding is optional; should the windows be clad, the color must be white. Window placement recommendations are as follows:

DOUBLE HUNG. These windows should be used exclusively on the first floor. Windows on the front facade must be full height (from 6'2" to 6'6" in height).

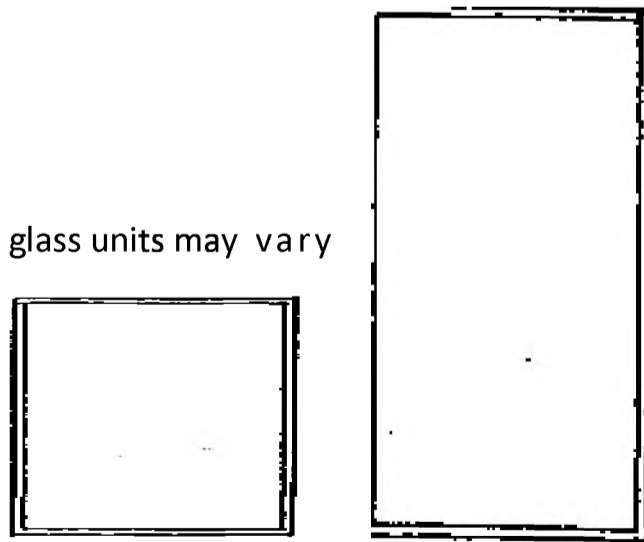
The maximum width allowed for a single double hung or casement window is three feet (3' 0"). For wider opening (more than 3' 0"), multiple windows may be "mullied" together. Refer to the sketches for examples. Storm windows should not be used.

CASEMENT. Casement windows should be used exclusively on upper floors. No casement windows may be used on the first floor of the front facade. There is no height limitation for casement windows.

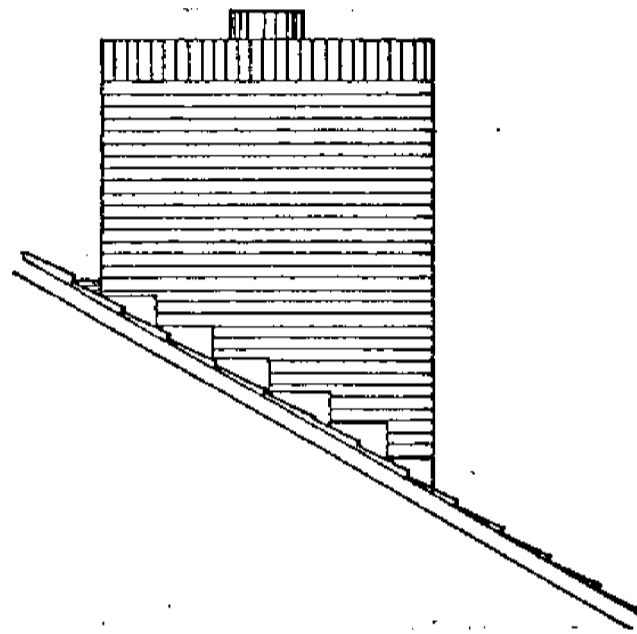
AWNING. Awning windows should be used only in conjunction with fixed glass. Awning windows and fixed glass may be used on any floor. They should not be used on the front facade of any floor.

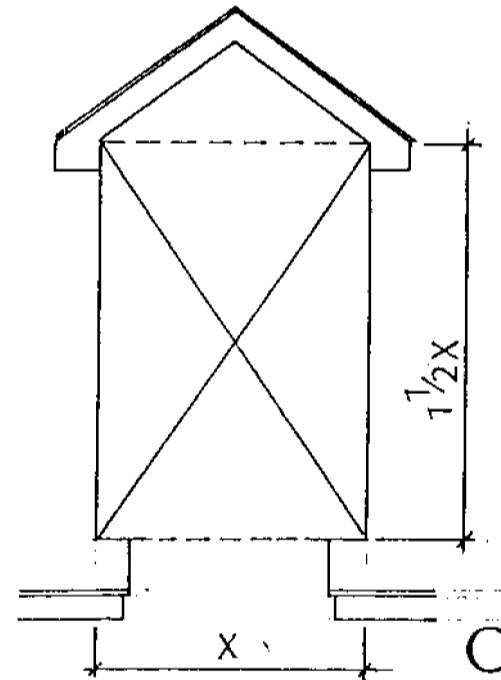
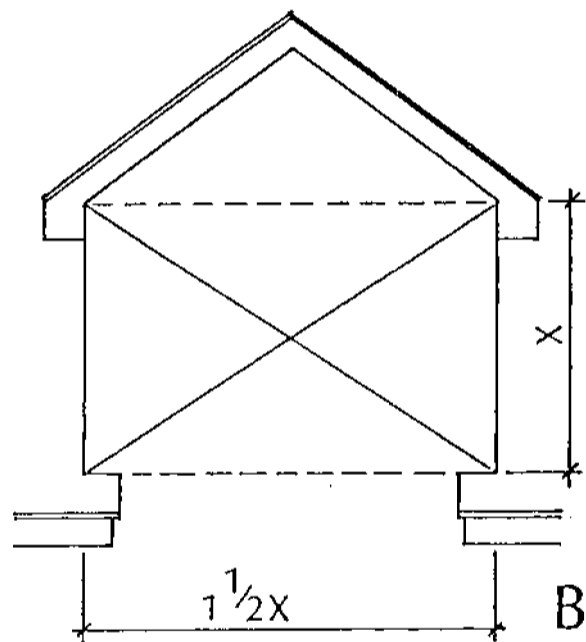
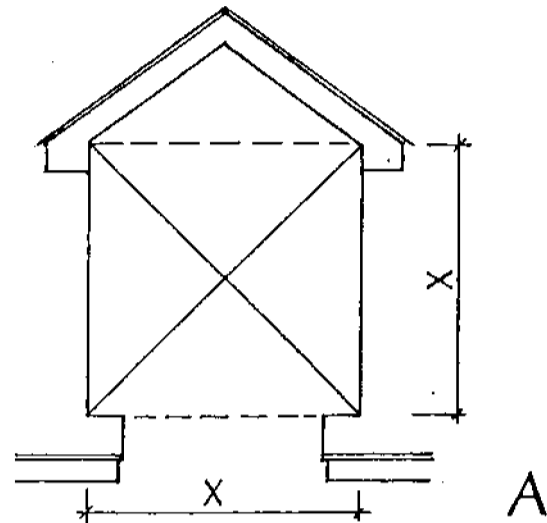
FIXED GLASS. Fixed glass may be used on any level except the first floor of the front facade. It may be used in conjunction with an awning window in order to achieve ventilation as is desired.

Sizes of single fixed glass units may vary

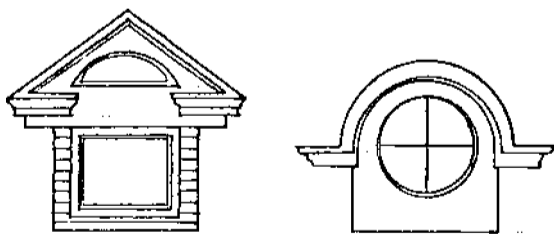


CHIMNEYS. Chimneys may be developed in any style or proportion. However, chimneys must be constructed of brick. Stucco, wood clad, or metal stacks are not allowed. Chimneys should be left natural unless the brick on the residence is painted; in that event the brick on the chimney should be painted the same color as the brick on the house.





DORMERS. Dormers may be constructed in any style or form. However, proportions must adhere to the ranges shown in the sketches. Roof materials must be from cypress shingles, cedar shingles or copper standing seam. Dormers are not allowed in roof areas which do not connect directly to an adjacent floor area.

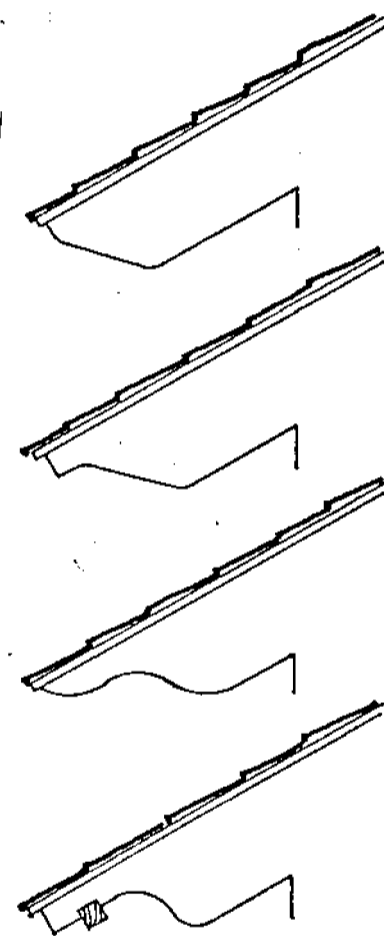
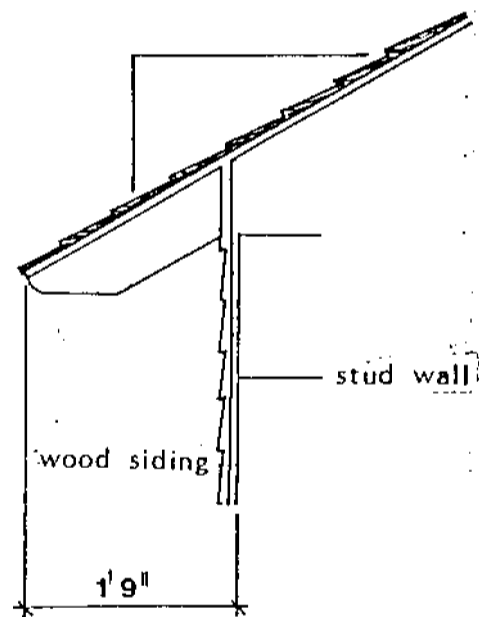
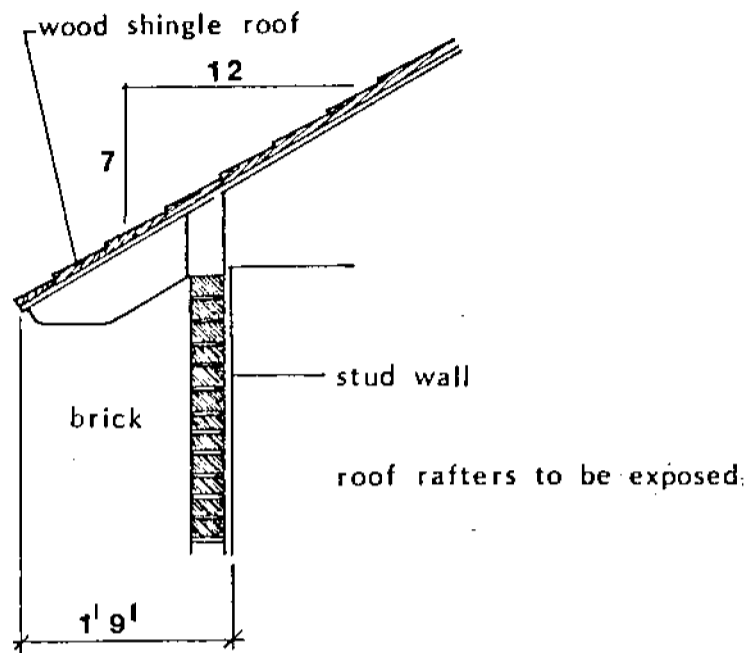


Dormer styles may vary.

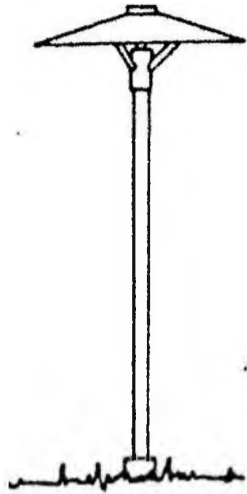
Dormer proportions must stay within dimension ranges as follows:

- A. Height equal to width
- B. Width one and one half the height
- C. Height one and one half the width

ROOF SHAPE AND PITCH. Roof shapes may be either a standard gable or a hipped configuration. A hipped and gabled roof should not be used in the same residence. Rafters should be exposed and may be designed in many various ways. They should be similar to the options shown in the sketches. Roof overhangs should adhere to the dimensions shown in the adjacent sketches. All roof pitches must be at a slope of 7:12. The overhang should be 1'9" from the outside face of the stud wall. Consequently, the overhang dimension will differ between a brick wall and stucco, or wood siding wall.

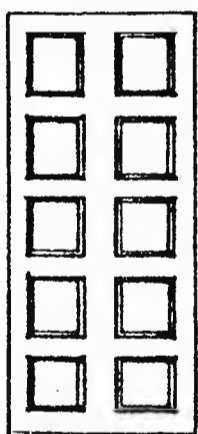
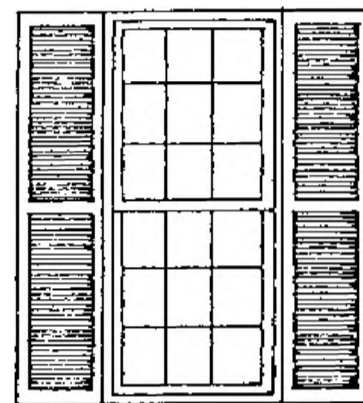


YARD LIGHTS. Yard lights should be equal to No. 12V-108 manufactured by Kim Lighting, Inc. Color may be either black or olive green.

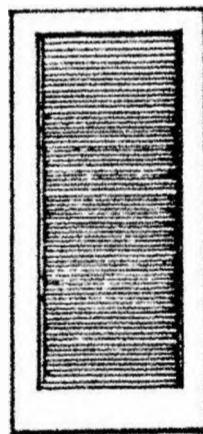


SOFFITS. Soffits above the exposed roof rafters should be constructed from 1 X 6 " V " grove center match pine (or approved equal).

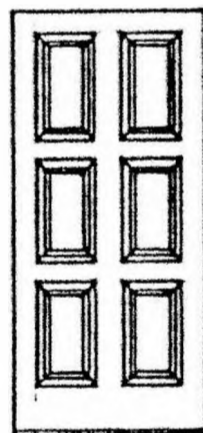
SHUTTERS. The use of shutters at Roses Bluff is optional. If shutters are used, their horizontal dimension should be no more than one half of the window dimension. All shutters should be of the louvered variety and with a rectangular shape.



ten panels

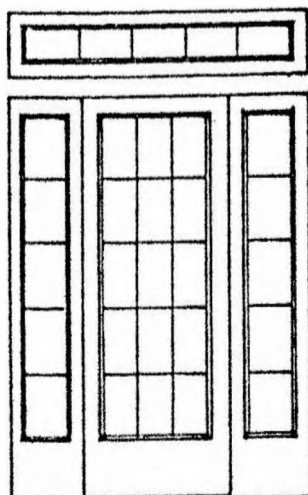


louvered screen

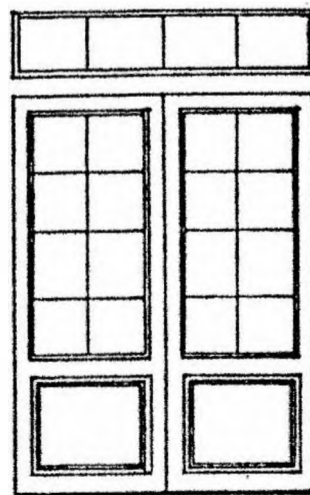


six panels

DOORWAYS AND EXTERIOR ENTRIES. All exterior doors should be of wood solid core material and painted. Sliding patio doors may be used provided they are double insulated wood. Sidelights and transoms are recommended to be used in conjunction with French doors at major entries. Storm doors may not be used. Although door styles may vary, the sketches demonstrate the general attitude which should be taken.



Single French door with sidelights



Double French with transom

GARAGE DOORS. Garage doors should be I track mounted panel doors with a minimum of four sections. Lattice, siding, or other surface treatment may be applied to the doors as desired. Garage doors should be constructed of wood. All doors are required to be equipped with automatic opening devices.

WALLS, FLOOR AND ROOF INSULATION. In order to insure maximum energy efficiency, all exterior surfaces should be insulated. Additionally, adequate vapor barriers are recommended in all exterior surfaces. The following R values are required:

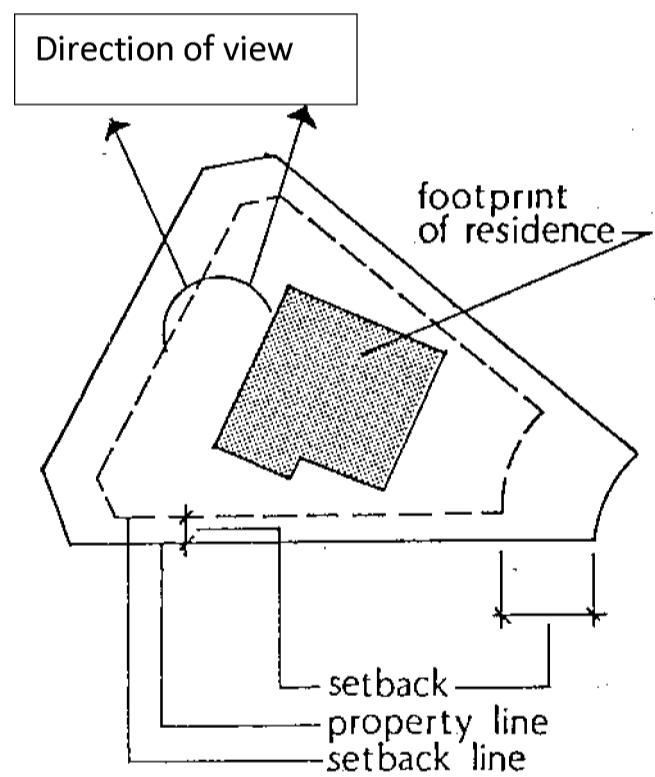
Walls	R-19
Attics	R-30
Floors	R-19

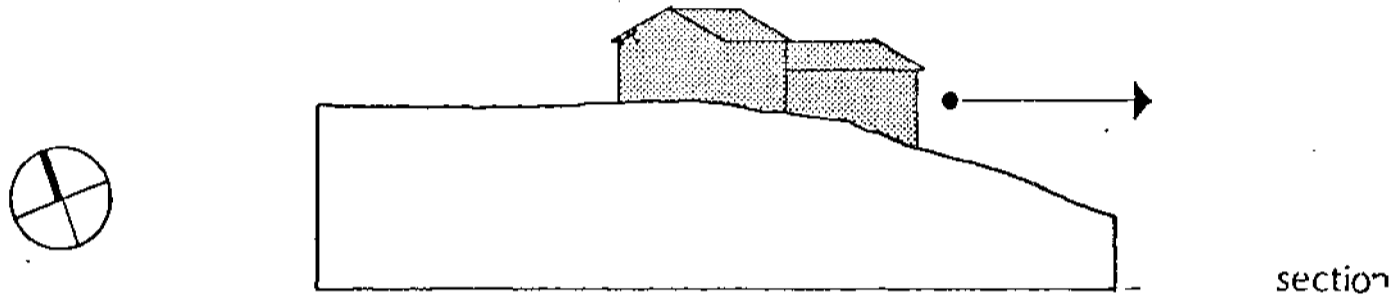
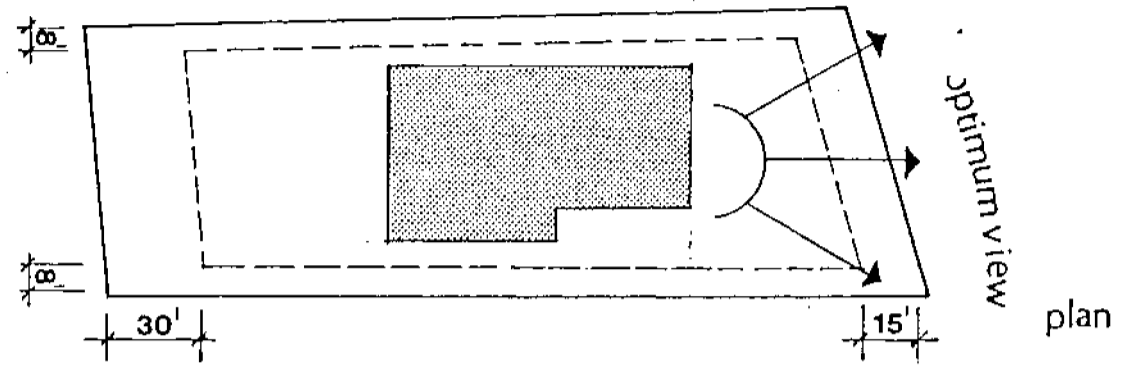
GUTTERS AND FLASHING. All flashing and gutters on residences in Roses Bluff Subdivision should be made from copper.

Appendix

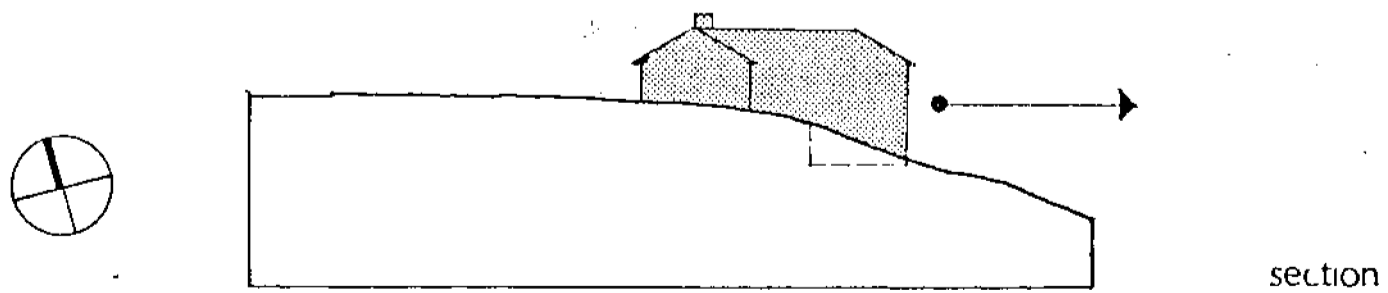
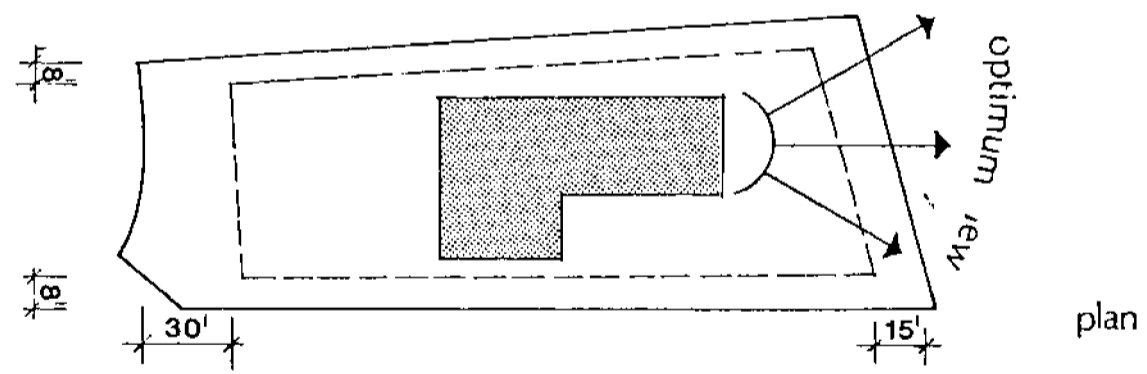
The Appendix includes a specific analysis of individual residential lots within Roses Bluff. Property line setbacks and primary view locations are shown. Also, sections have been cut through the center of each site in order for the slope from front to back of the property to be shown. The property line setbacks as indicated in this Appendix supersede setbacks shown in the Housing Type Requirements Section of this document. In the event of a conflict between dimensions shown in the Appendix and the Housing Type Requirements, the dimensions listed in the Appendix shall overrule and be considered final.

The sketch below should be used as a key to the sketches in this Appendix.

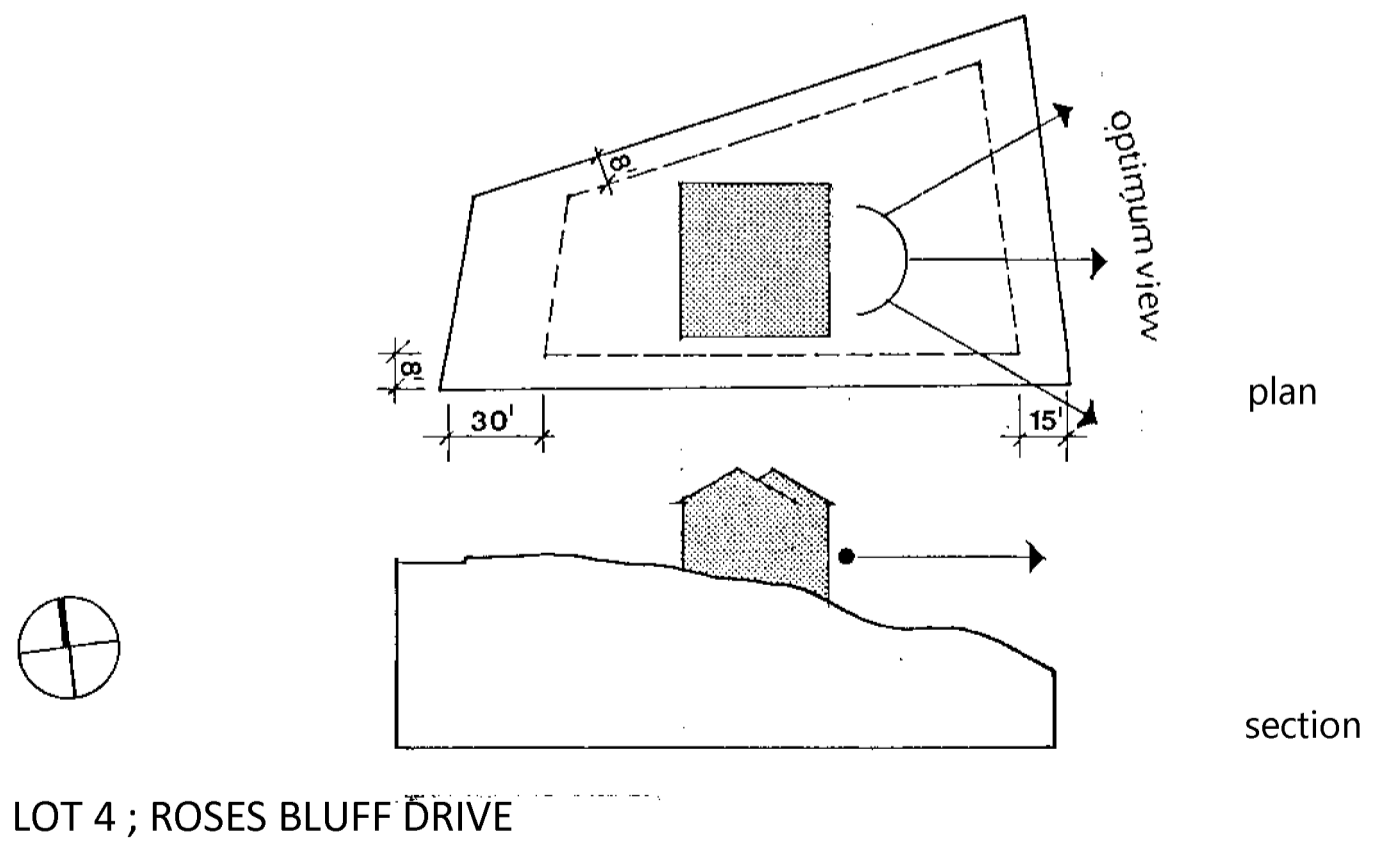
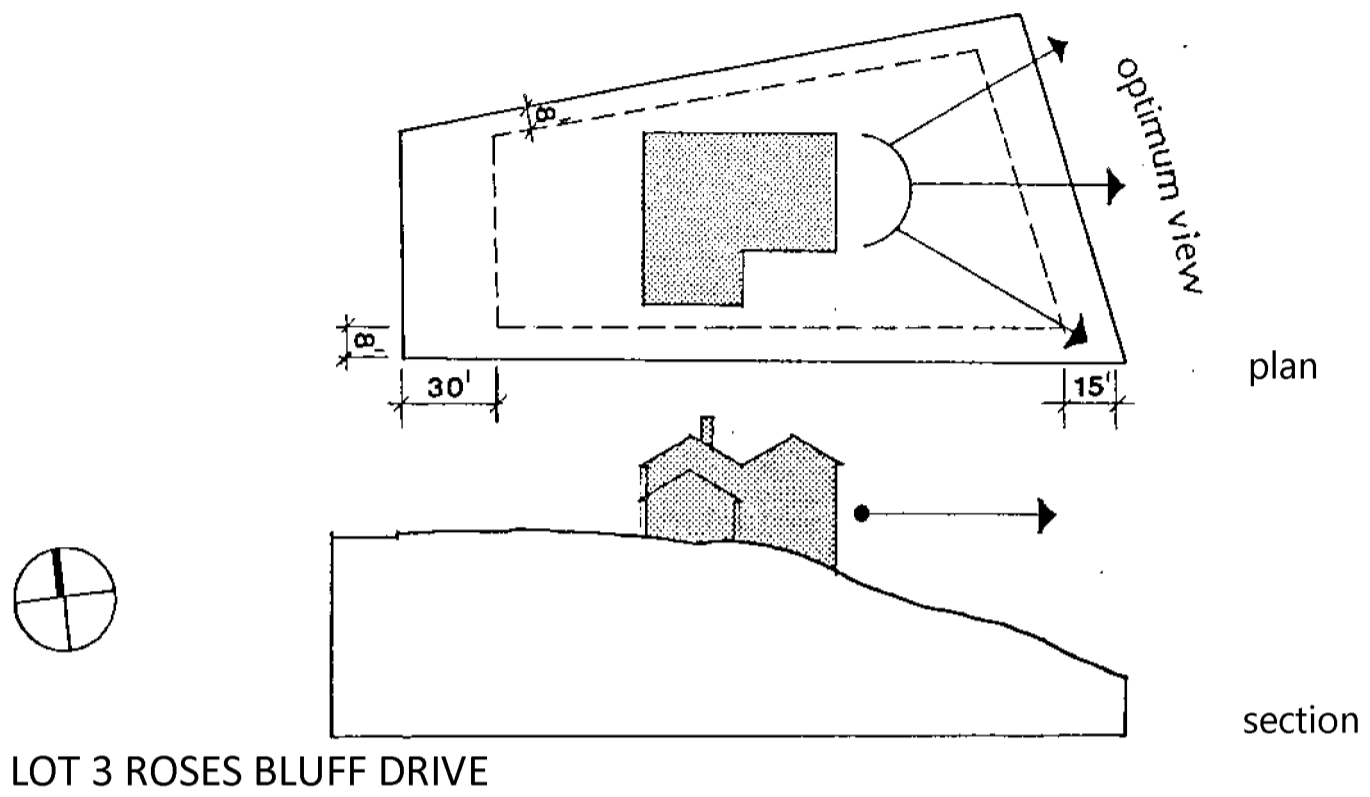


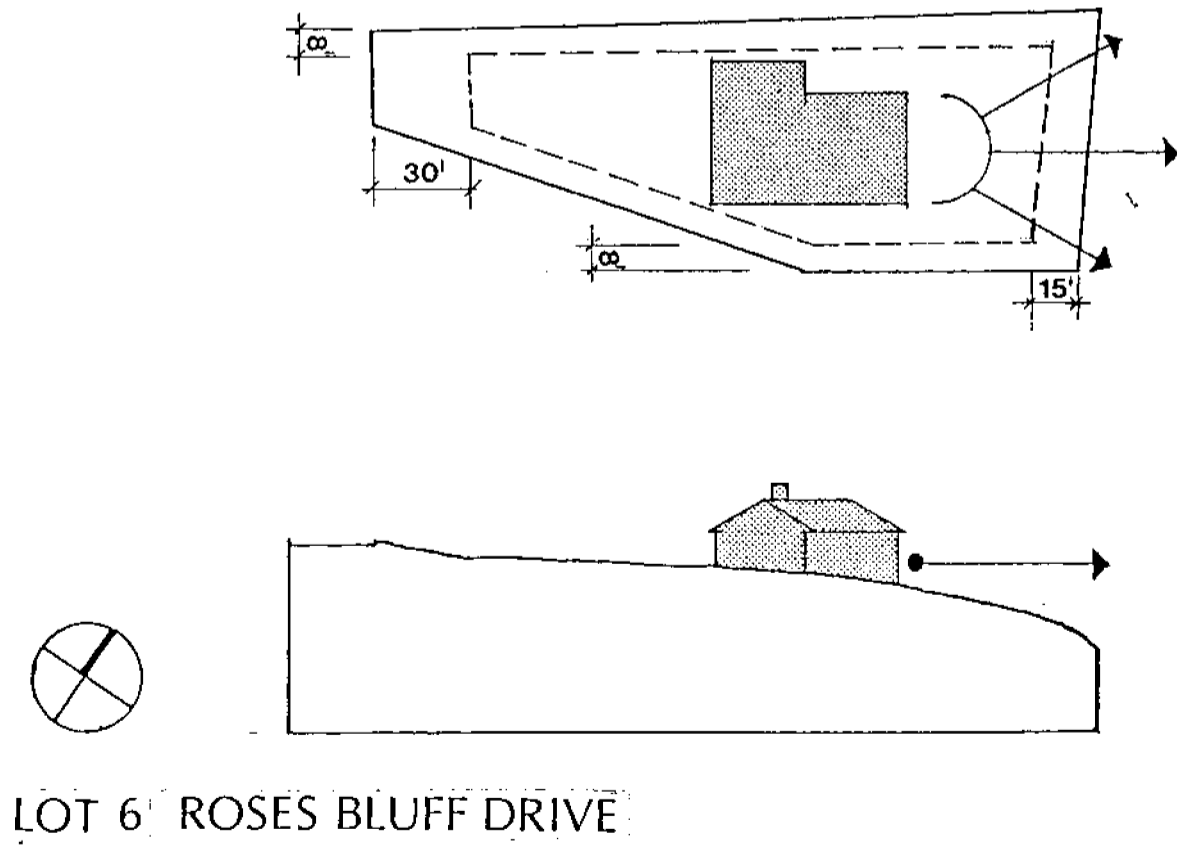
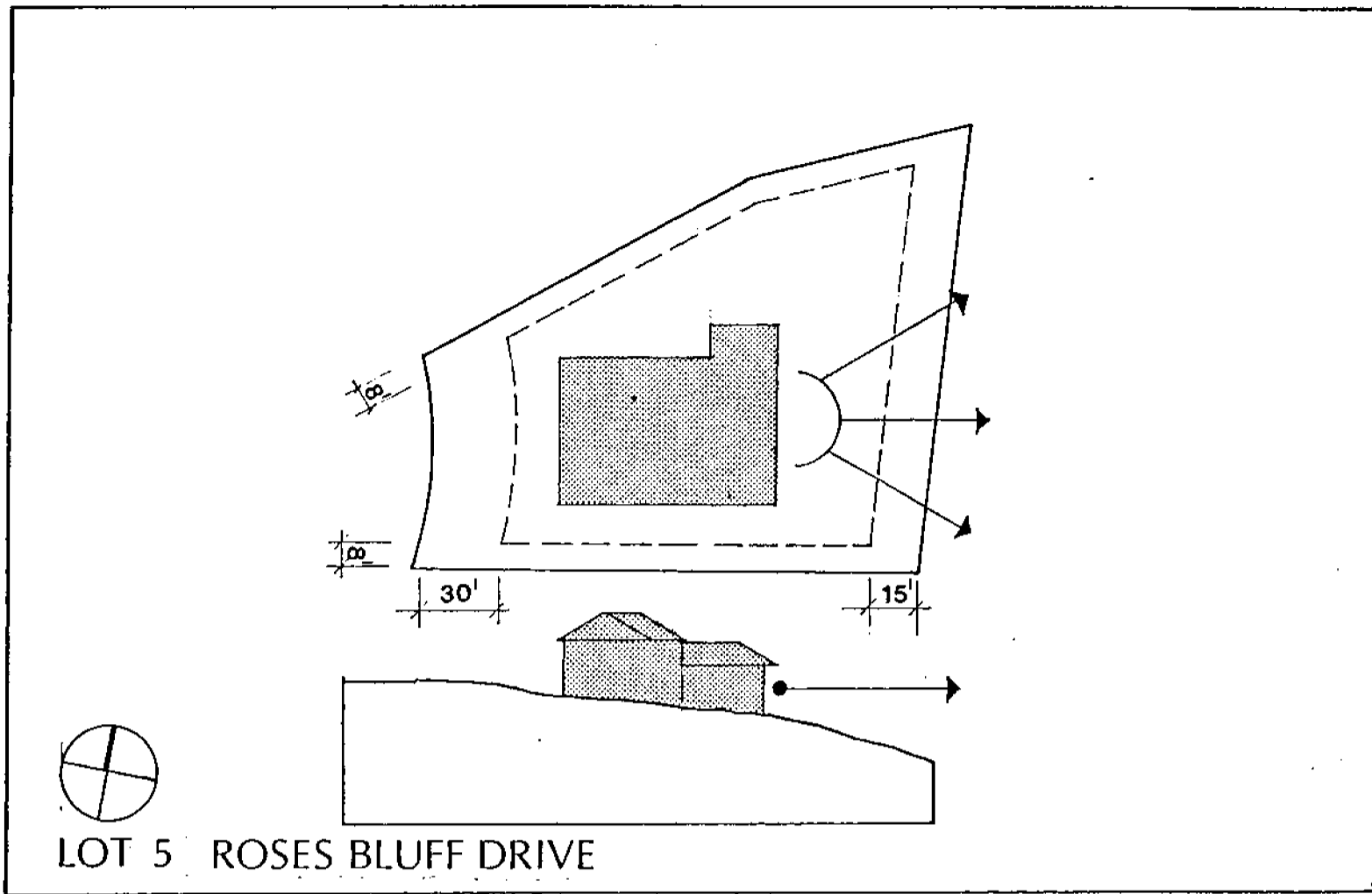


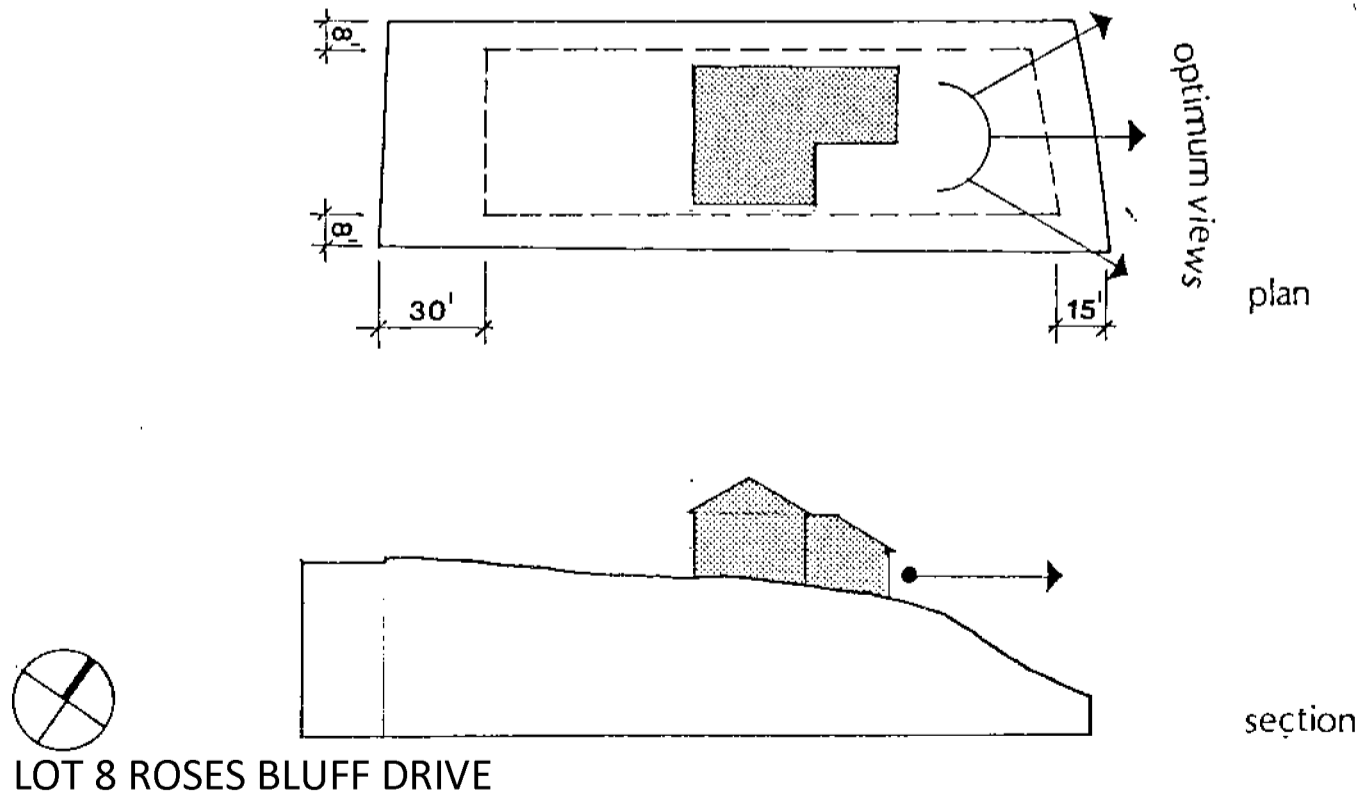
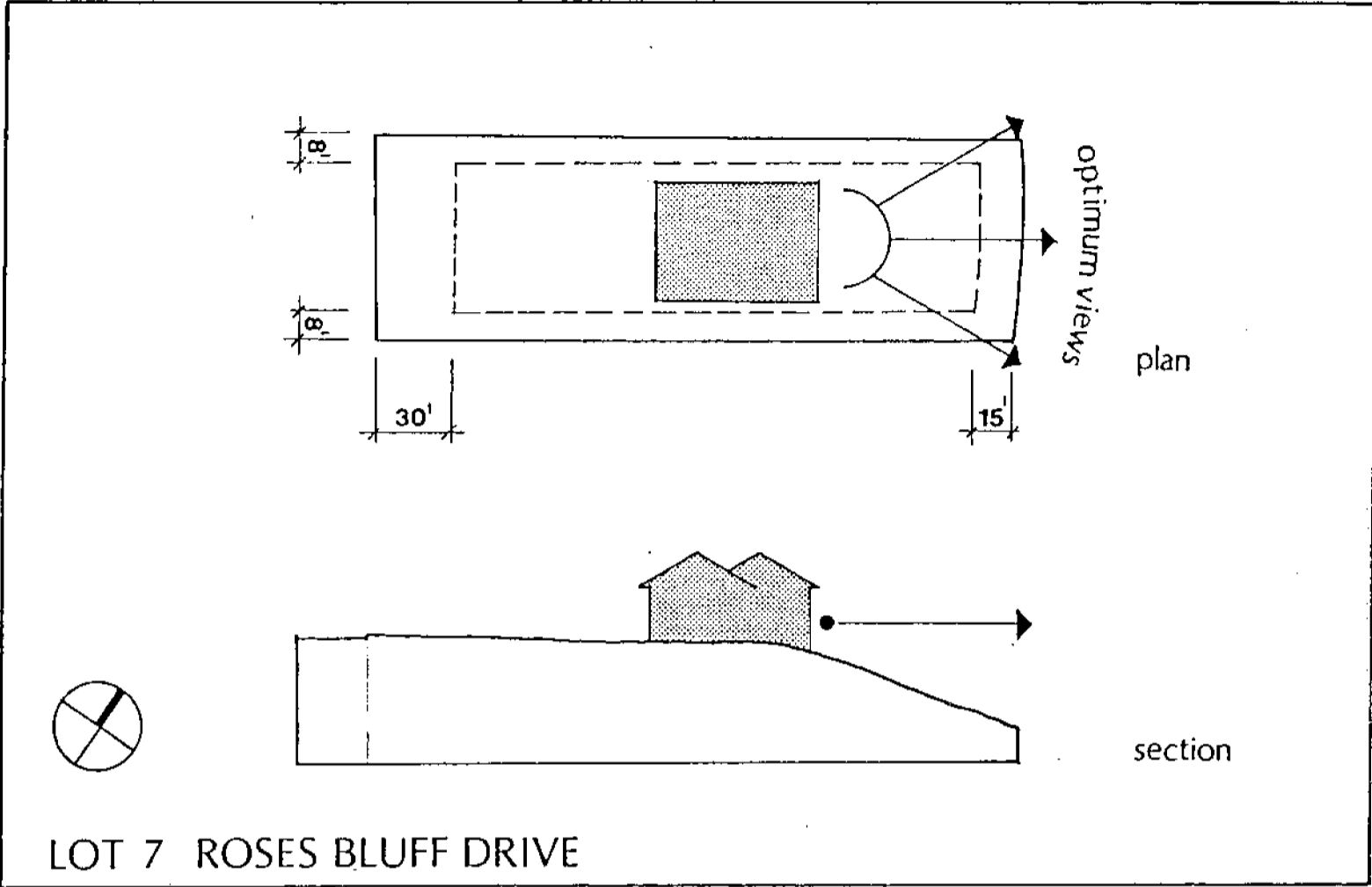
LOT 1 ROSES BLUFF DRIVE

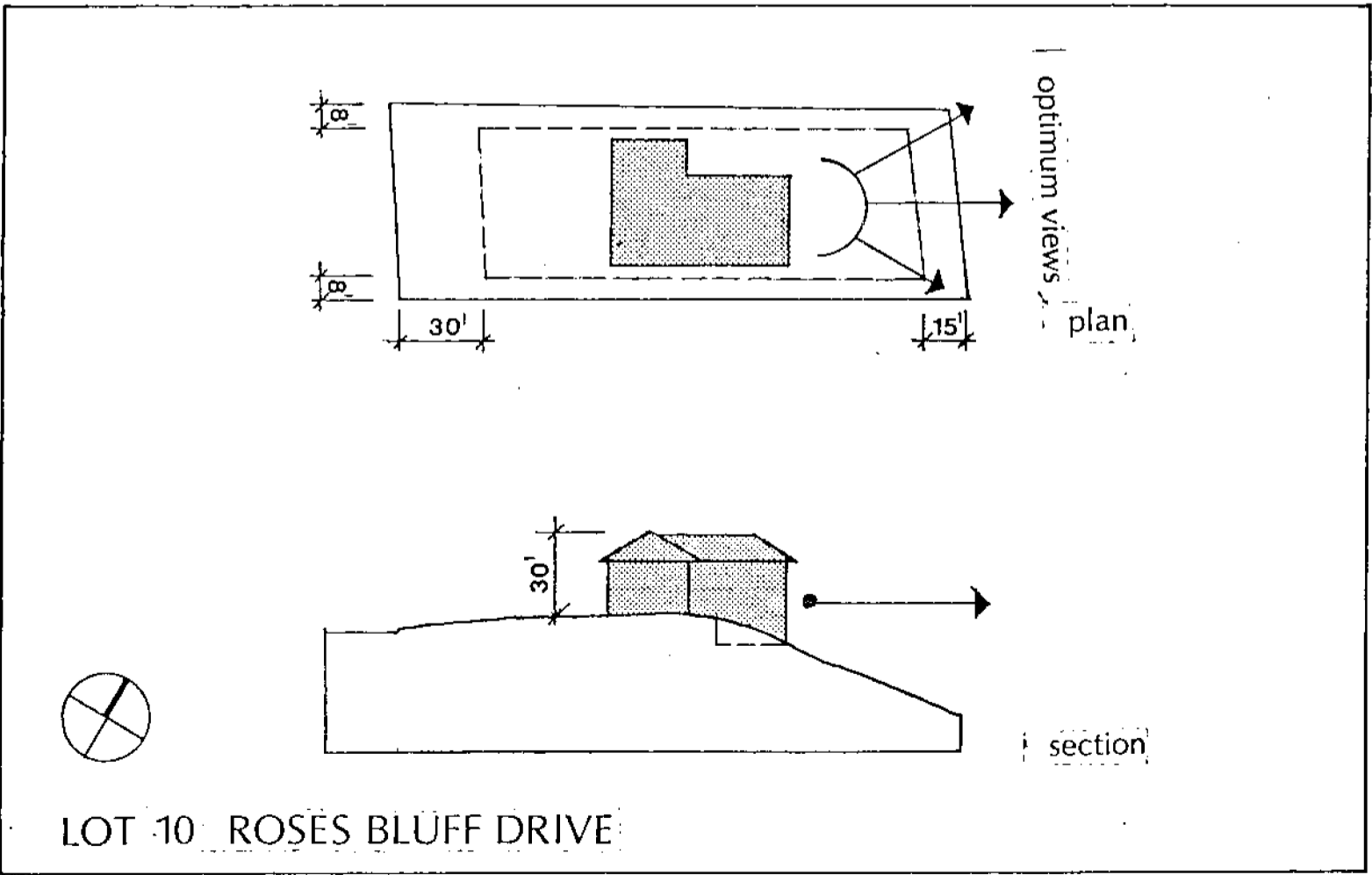
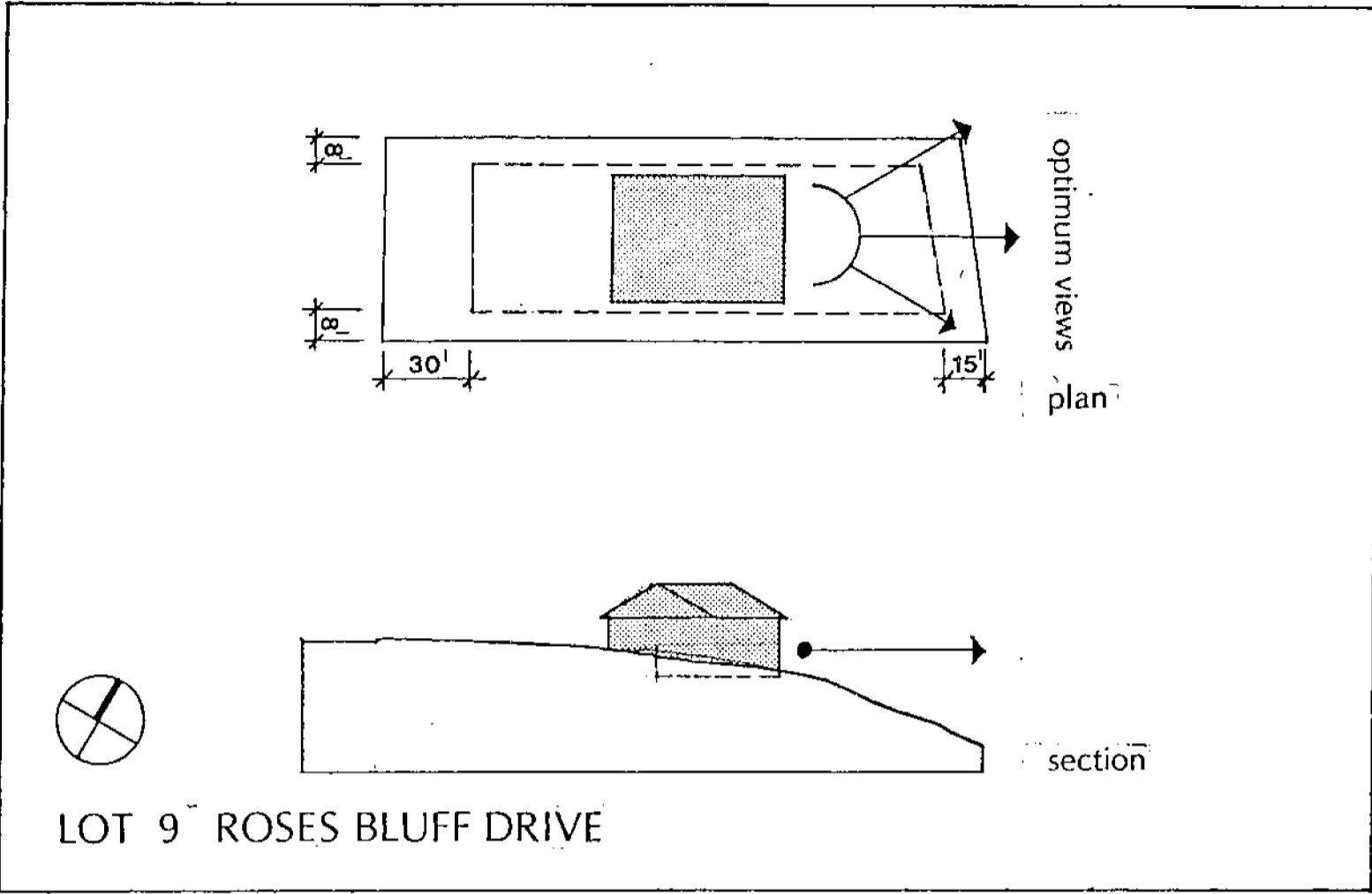


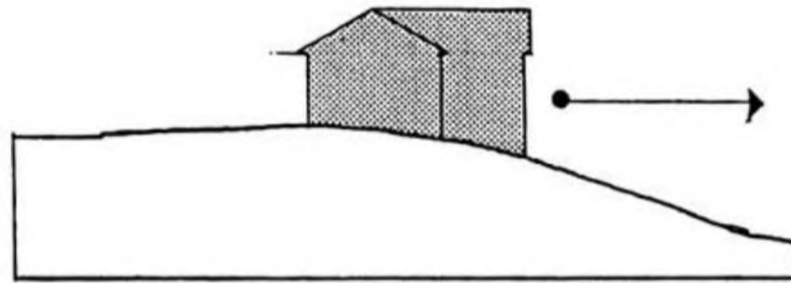
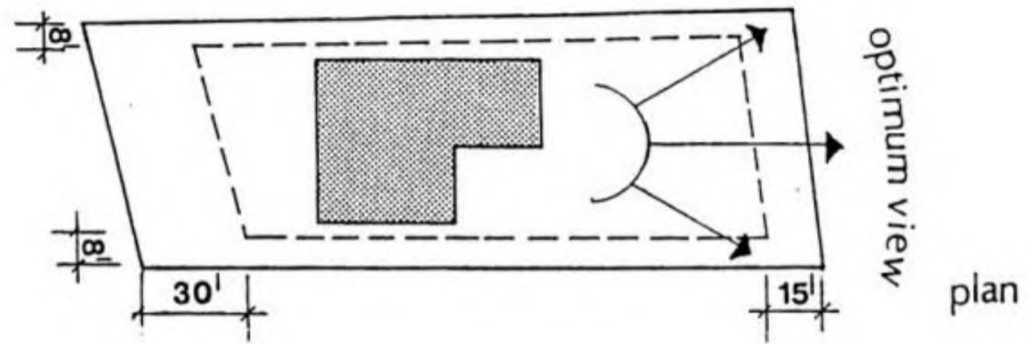
LOT 2 ROSES BLUFF DRIVE





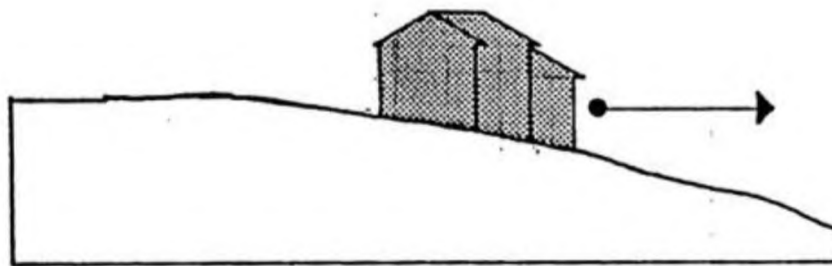
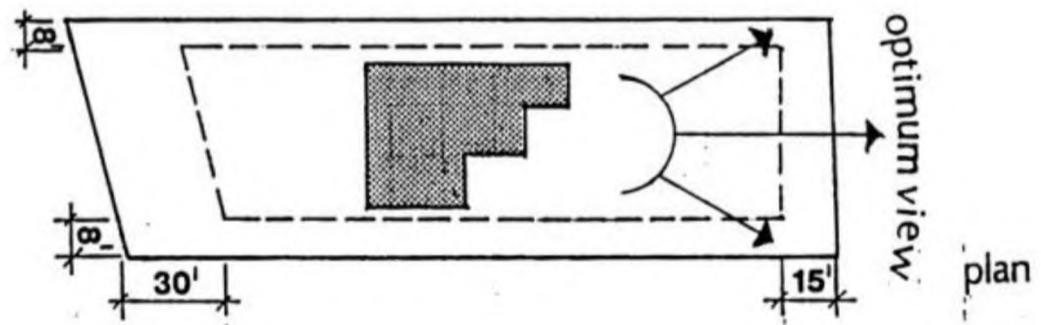






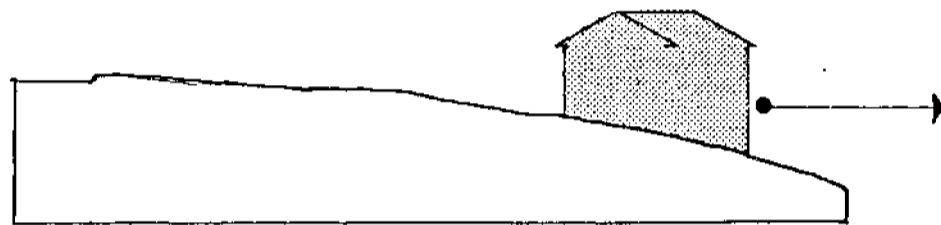
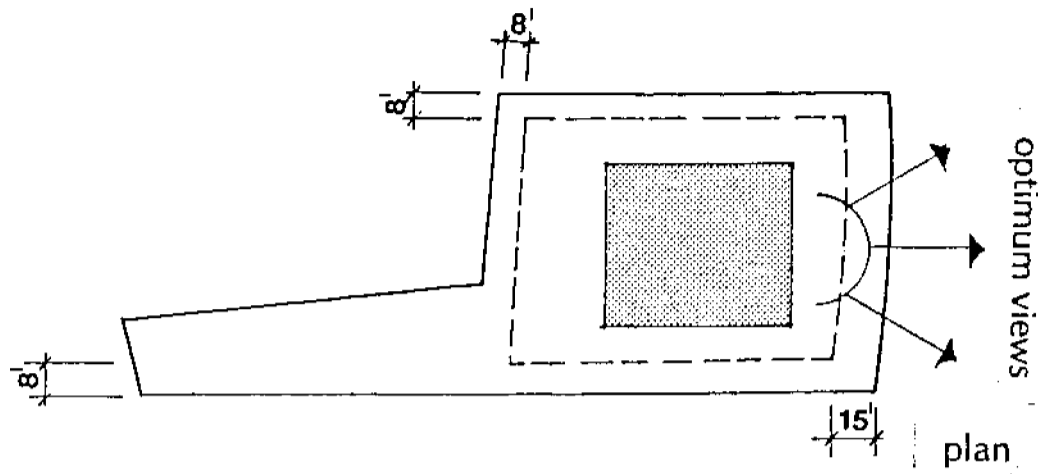
section

LOT 11 ROSES BLUFF DRIVE



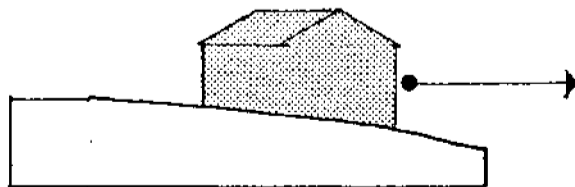
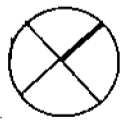
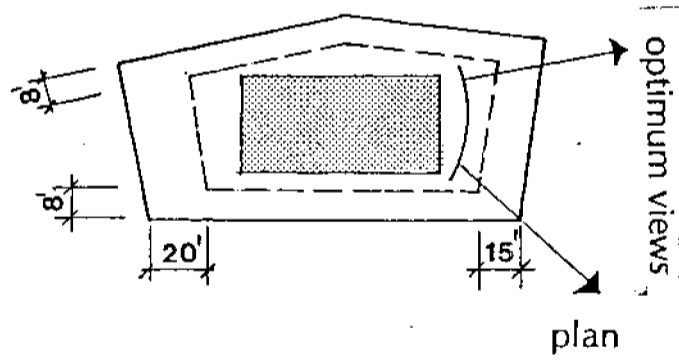
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LOT 12 ROSES BLUFF DRIVE



section

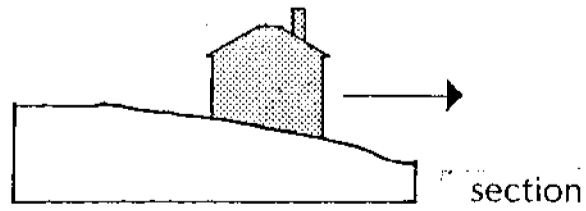
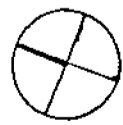
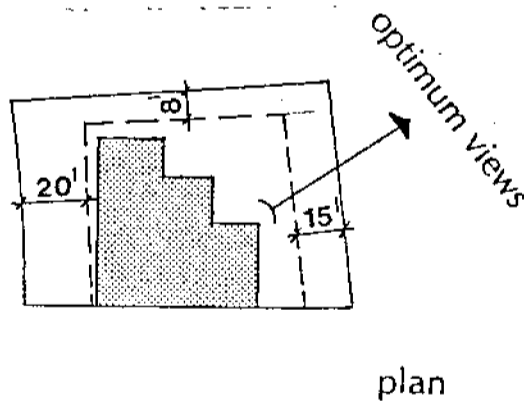
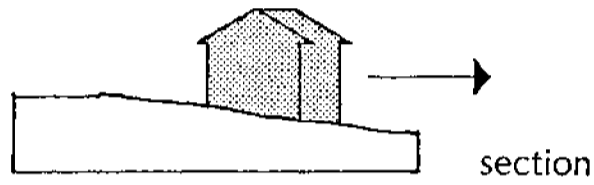
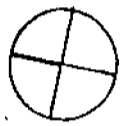
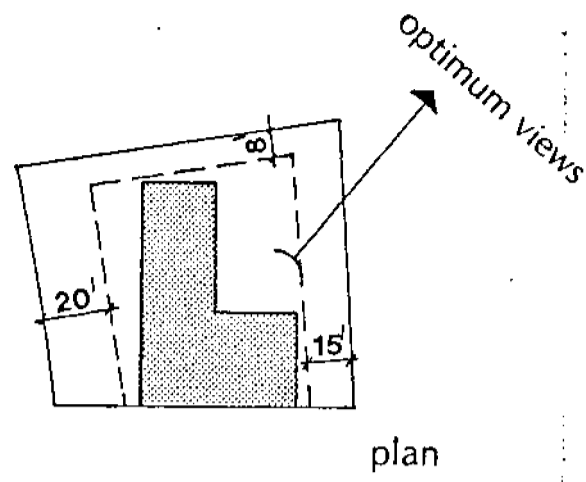
LOT 13 | ROSES BLUFF DRIVE



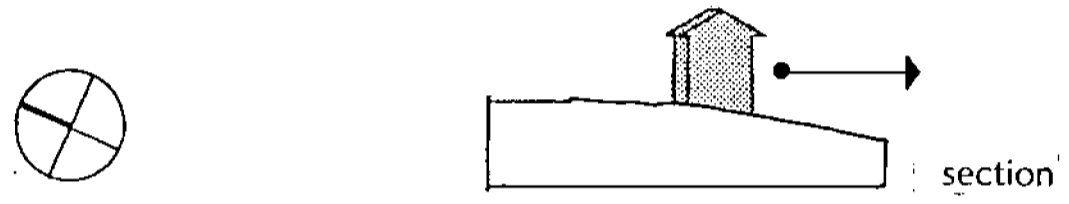
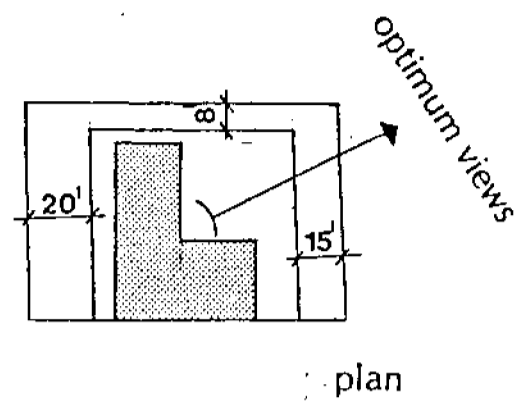
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LOT 14 | ROSES BLUFF DRIVE

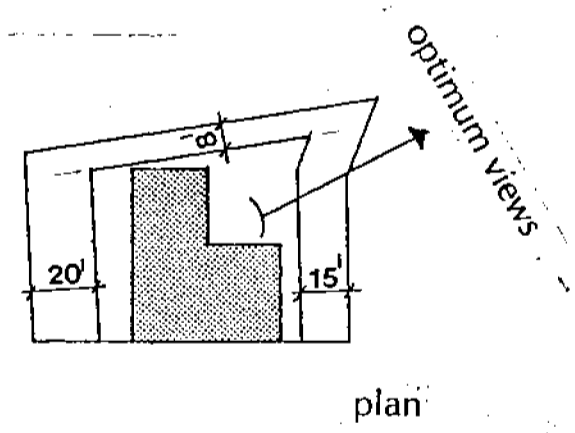
Lot 36 DUCK COVE



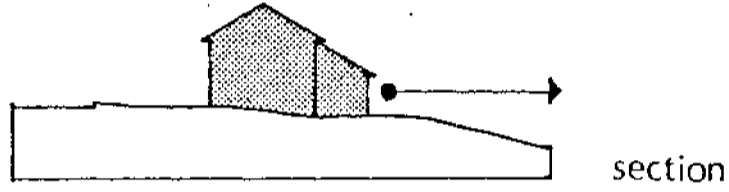
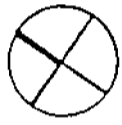
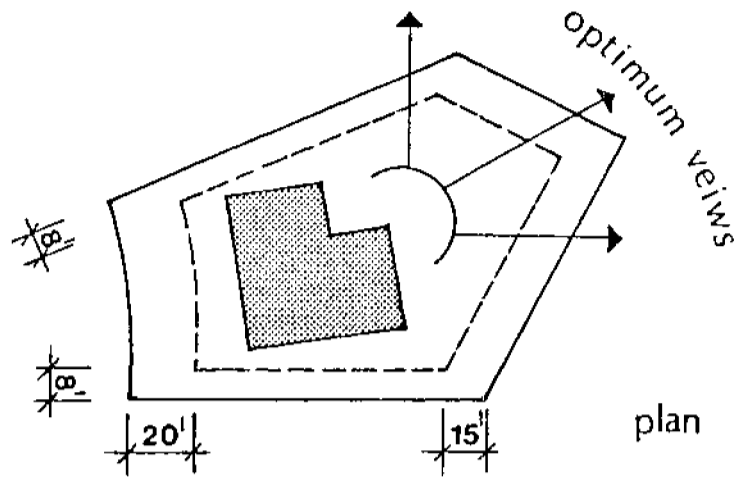
LOT 37 DUCK COVE



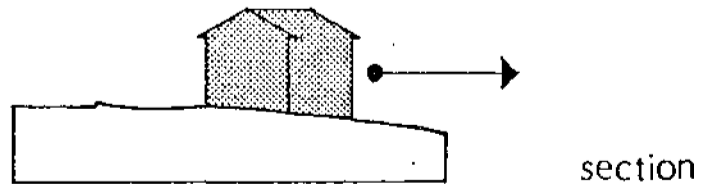
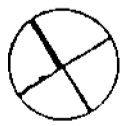
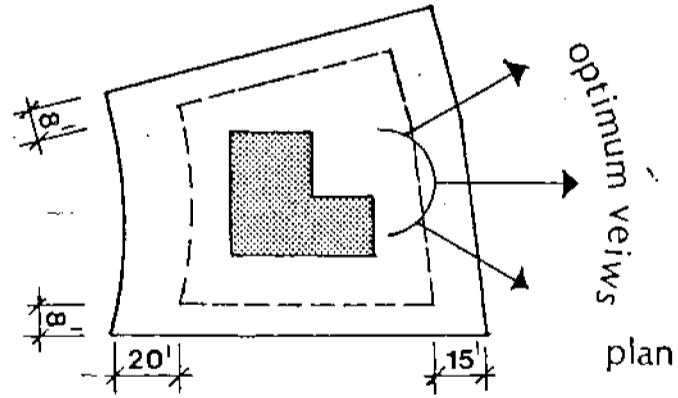
LOT 38 DUCK COVE



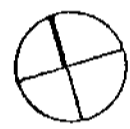
LOT 39 DUCK COVE



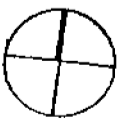
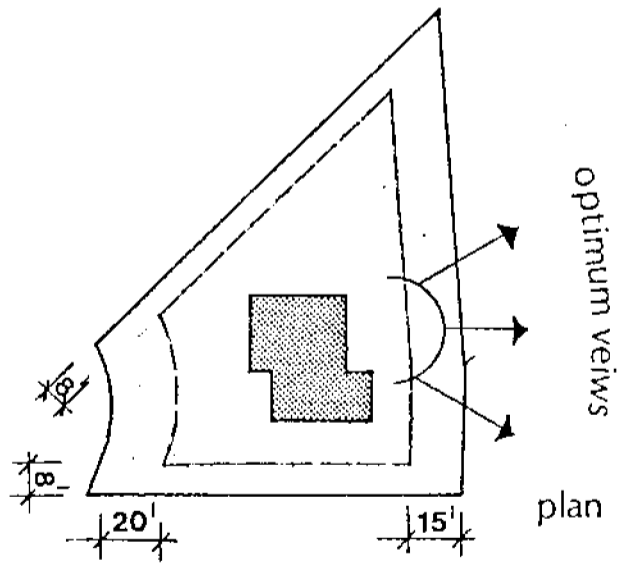
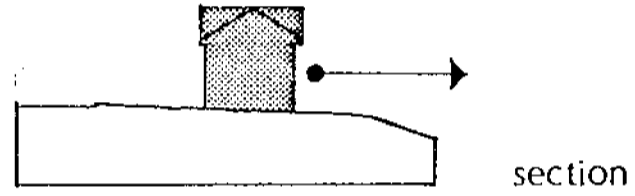
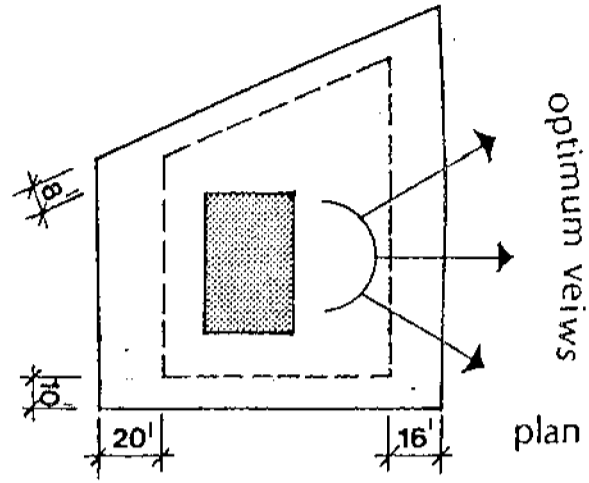
LOT 40 DUCK COVE



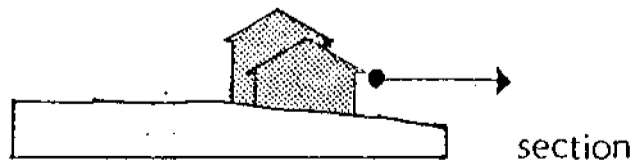
LOT 41 DUCK COVE

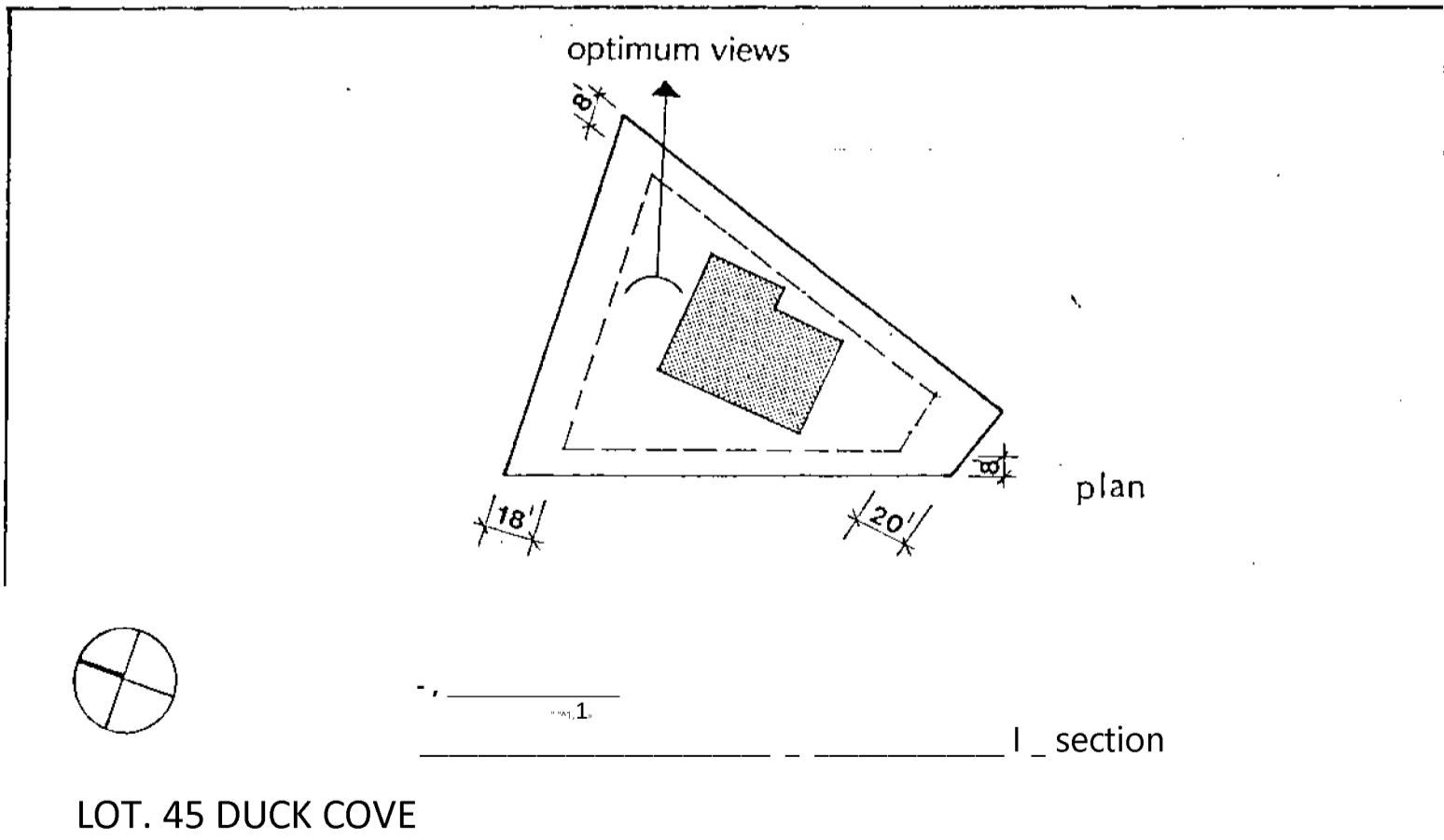
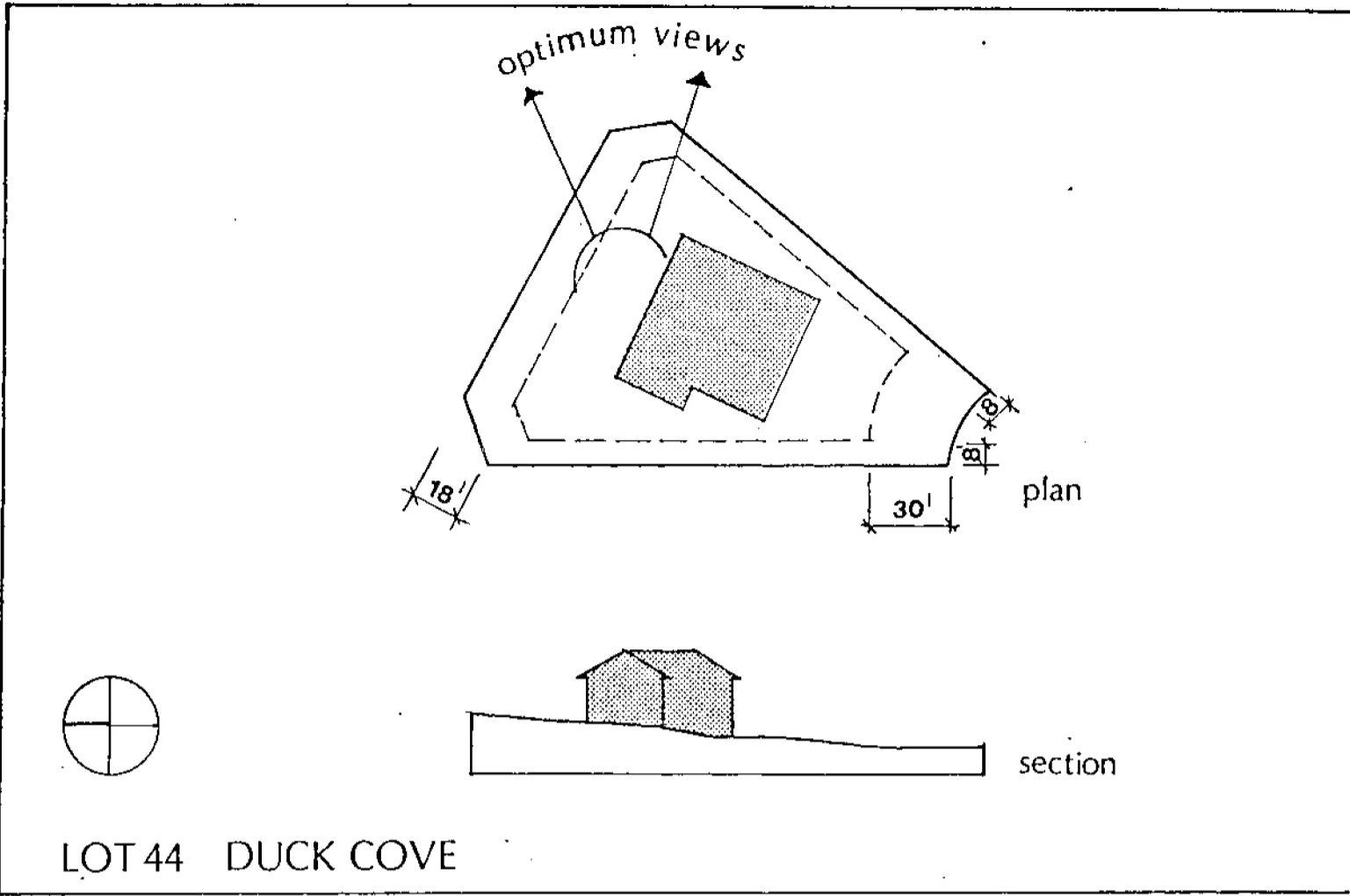


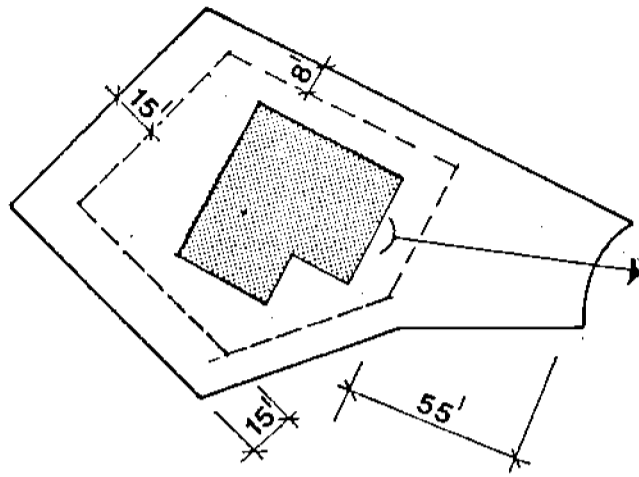
LOT 42 DUCK COVE



LOT 43 DUCK COVE

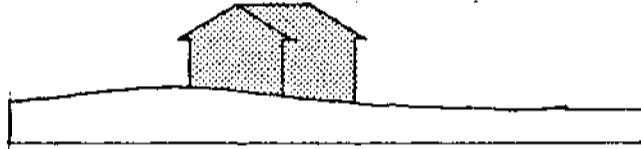
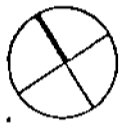






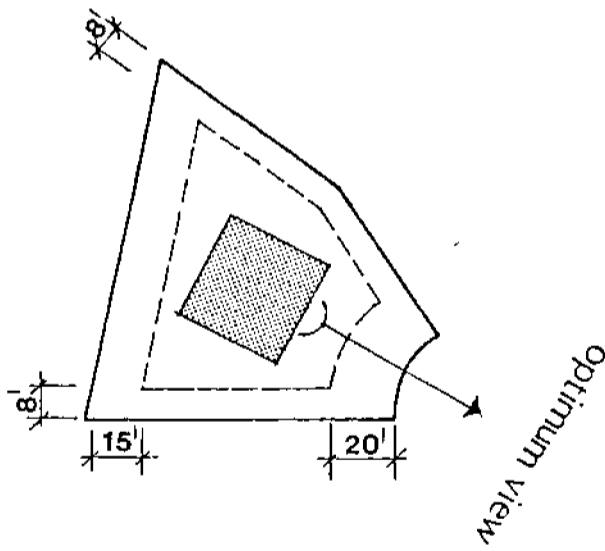
optimum views

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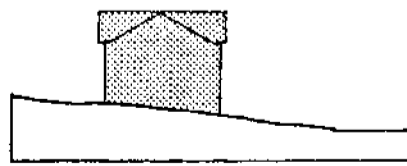
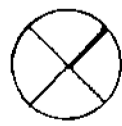


section

LOT 46 DUCK COVE

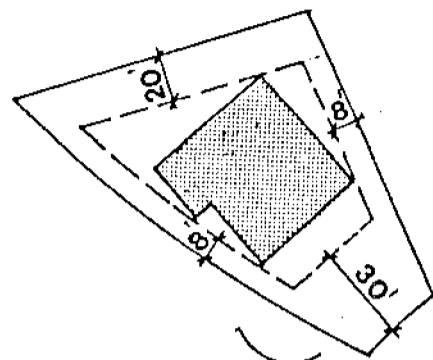


plan



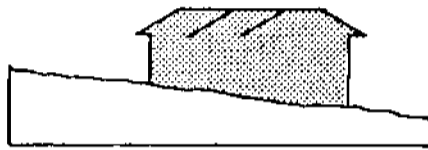
section

LOT 47 DUCK COVE



plan

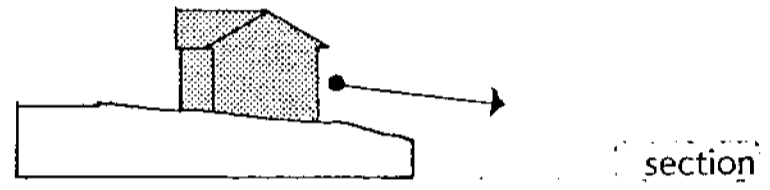
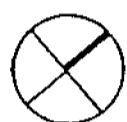
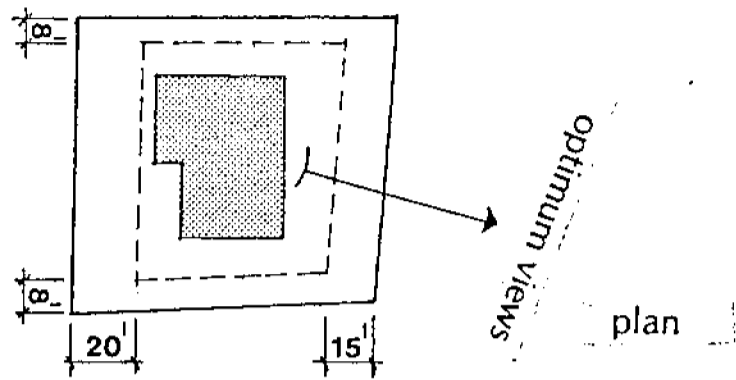
optimum views



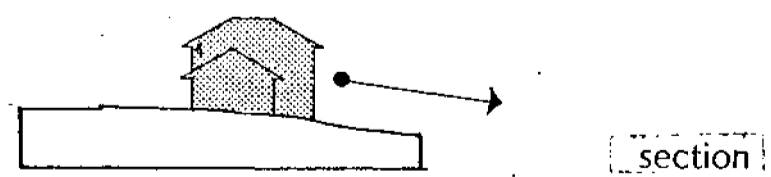
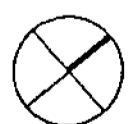
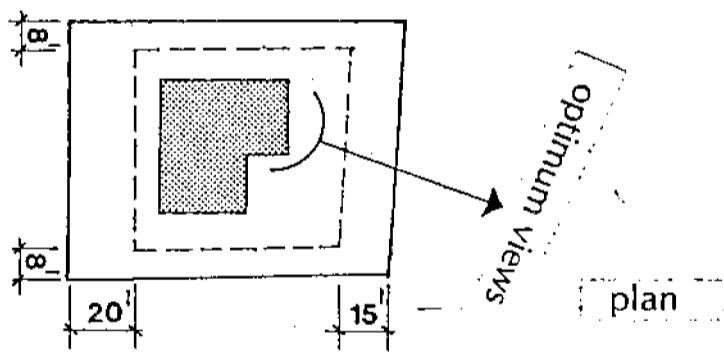
section



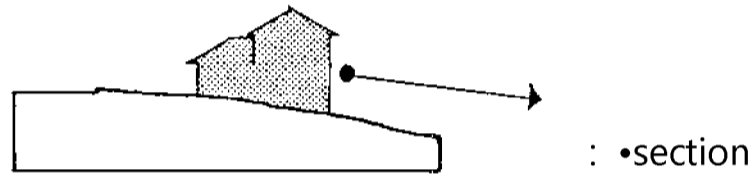
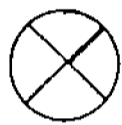
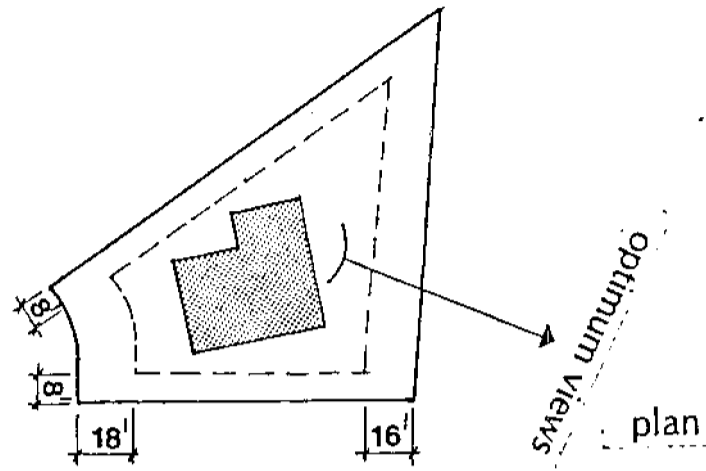
LOT 48 DUCK COVE



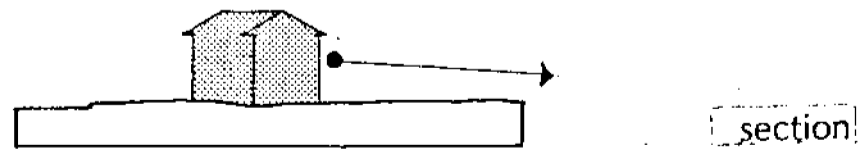
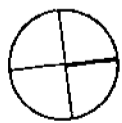
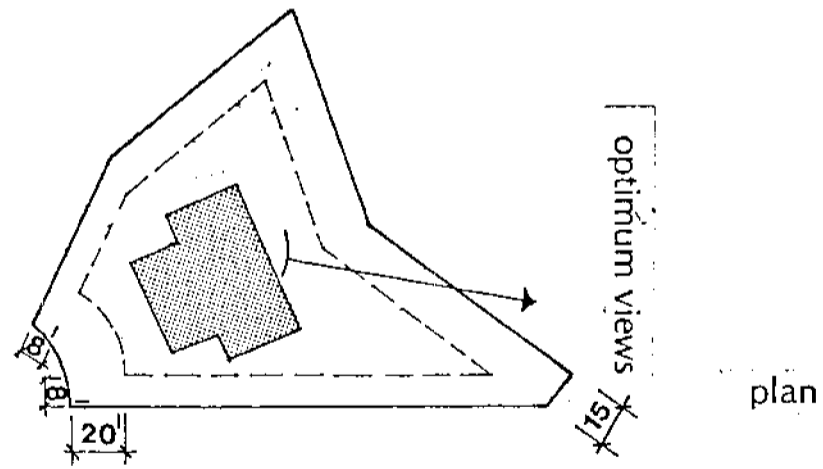
LOT 49 GREY BRANT COURT



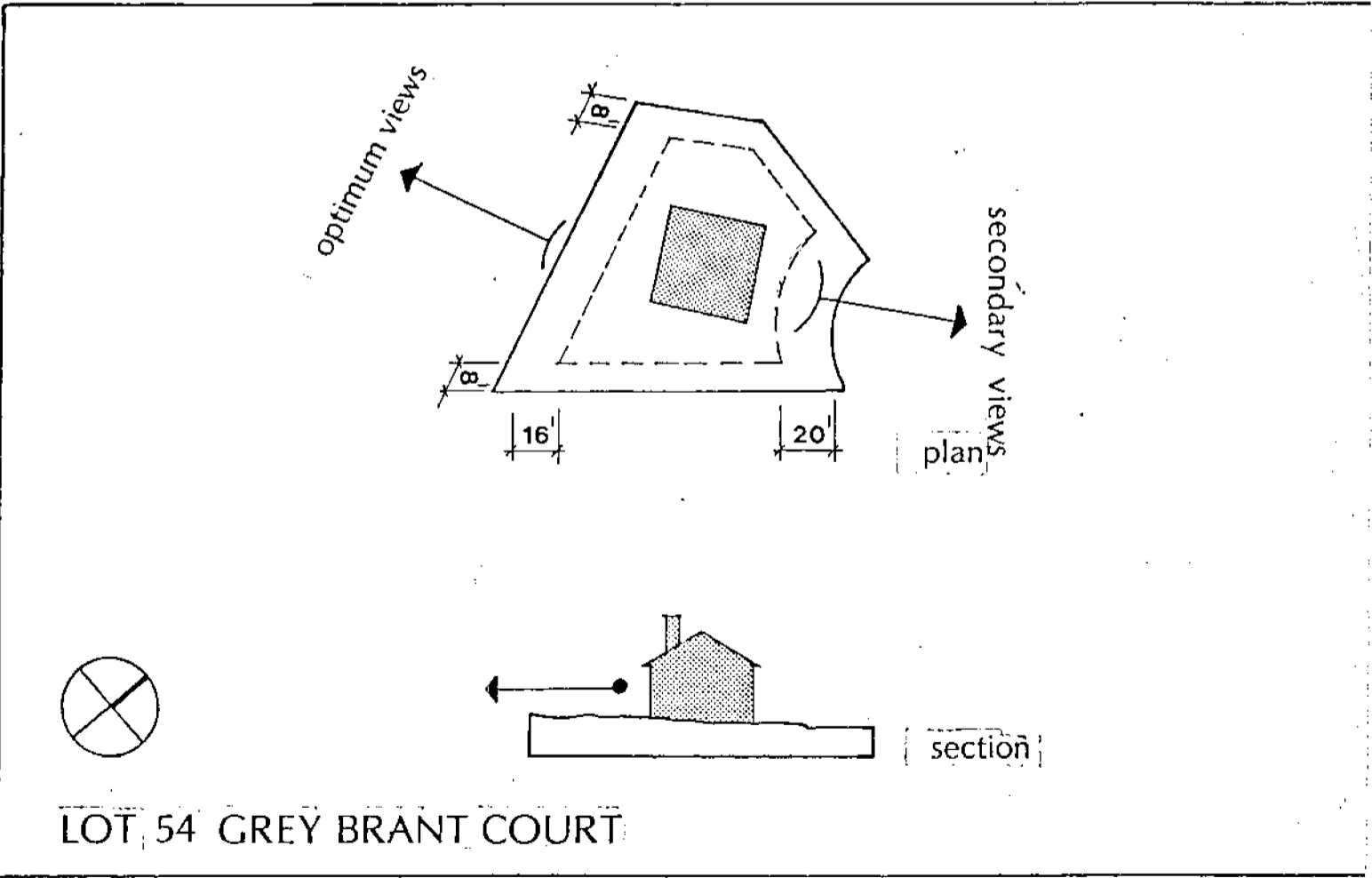
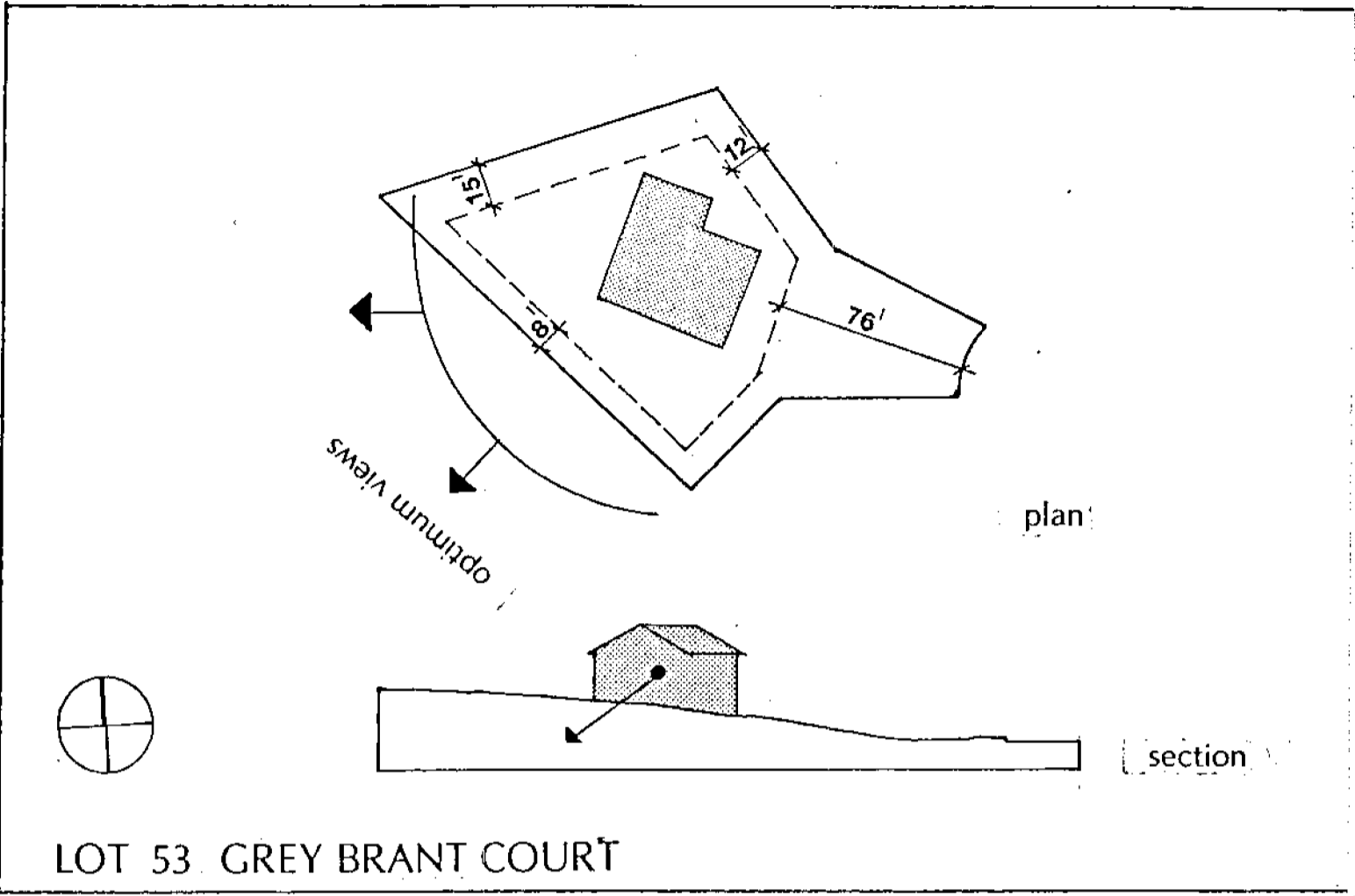
LOT 50 GREY BRANT COURT

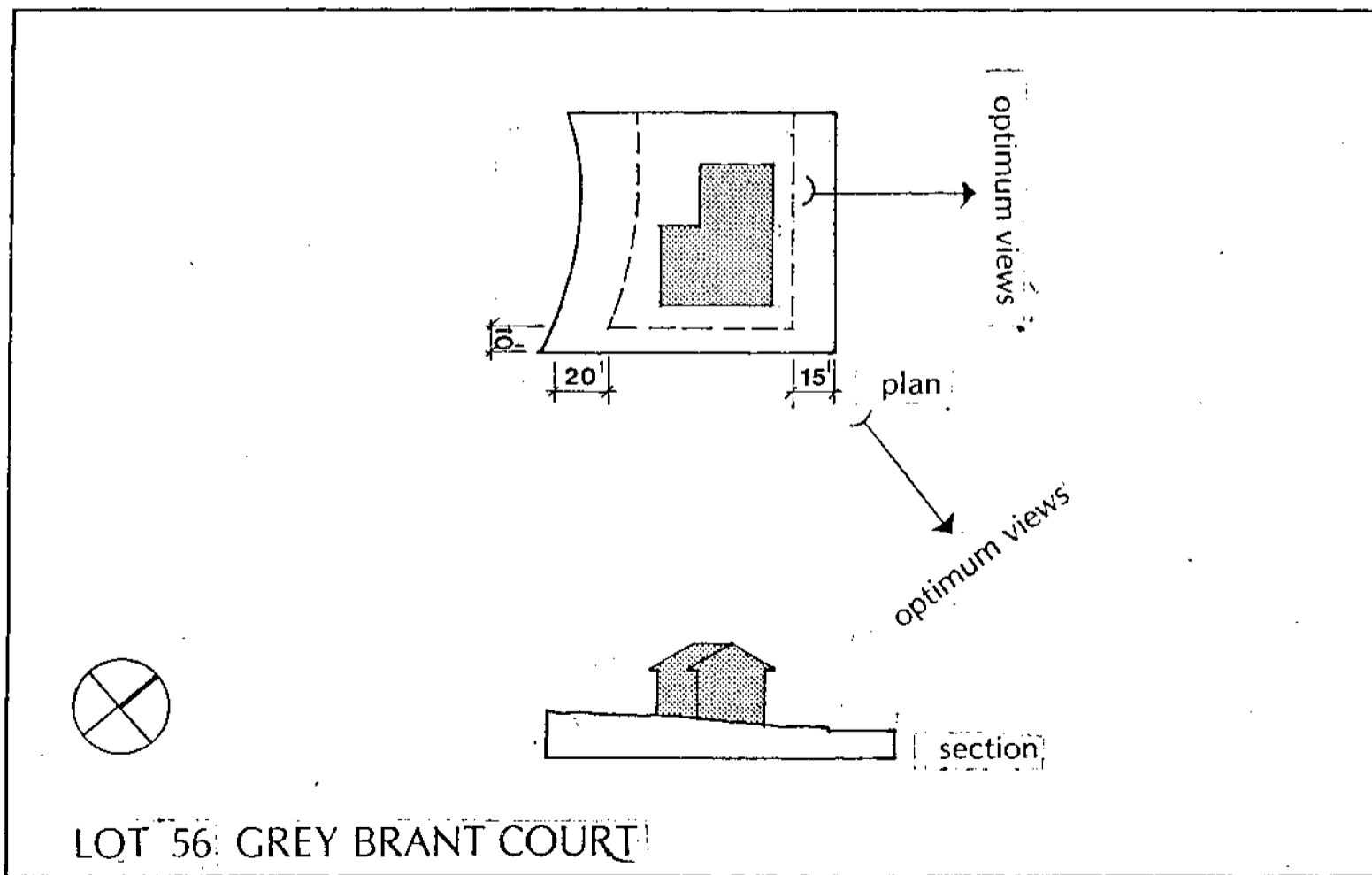
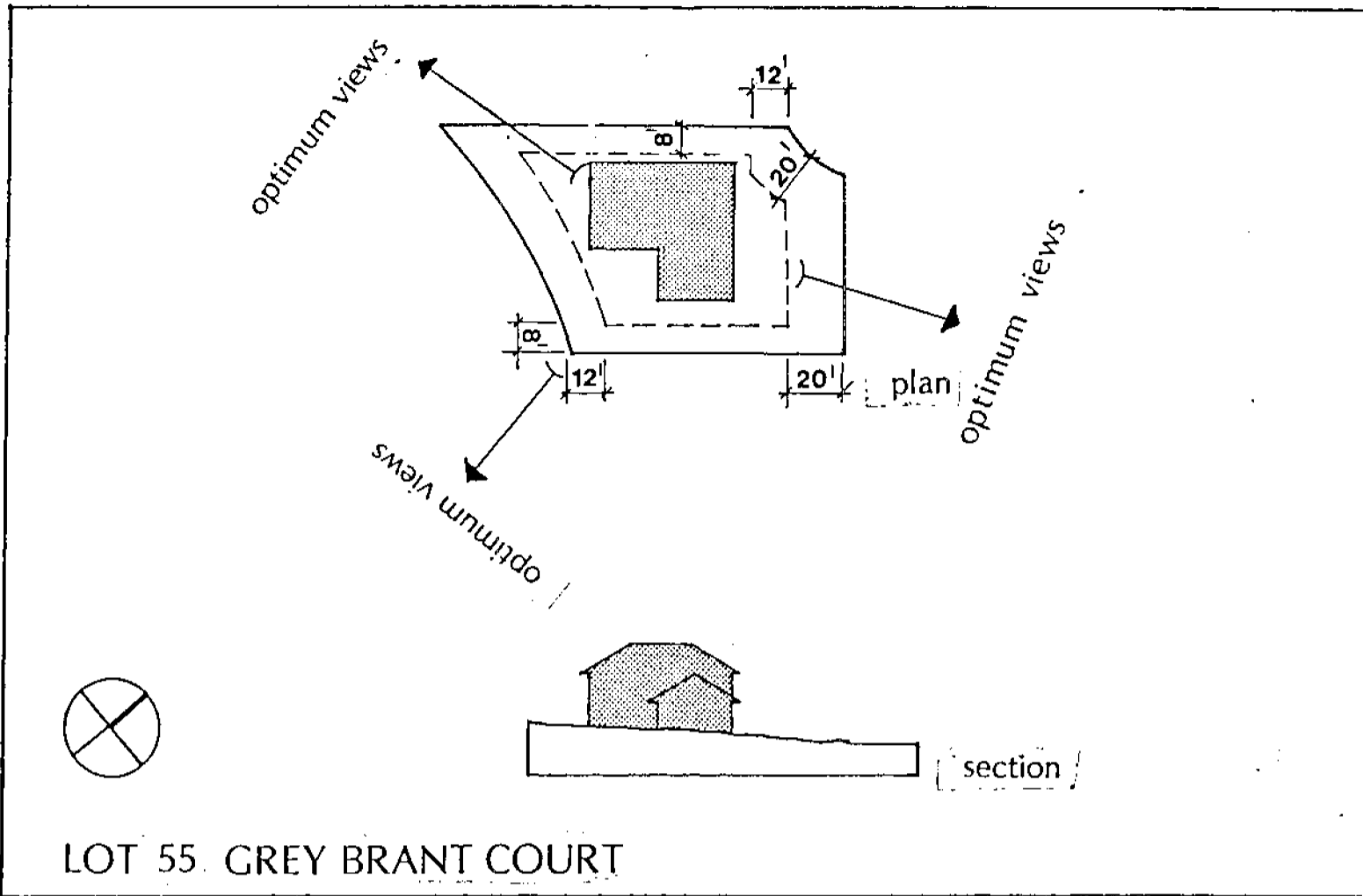


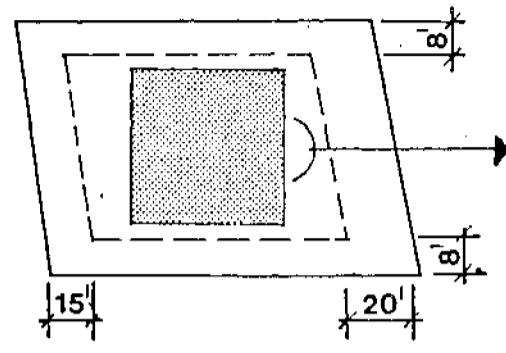
LOT 51 GREY BRANT COURT



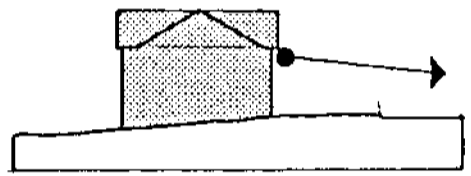
LOT 52 GREY BRANT COURT





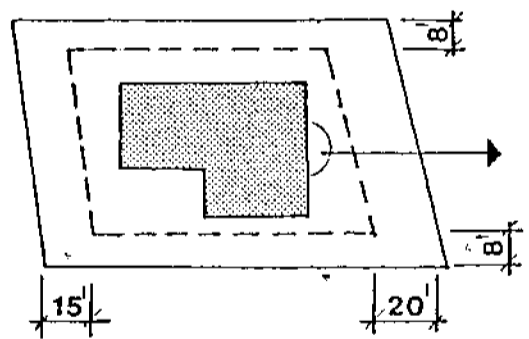


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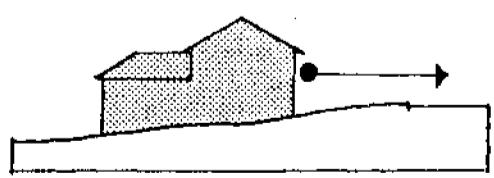
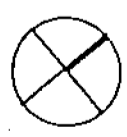


section

LOT 75 ROSES BLUFF DRIVE

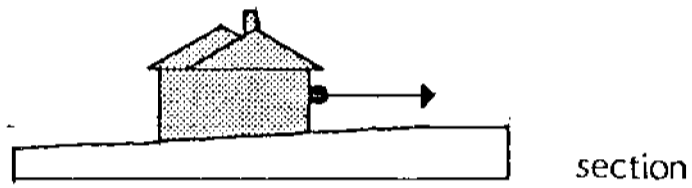
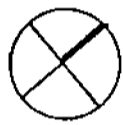
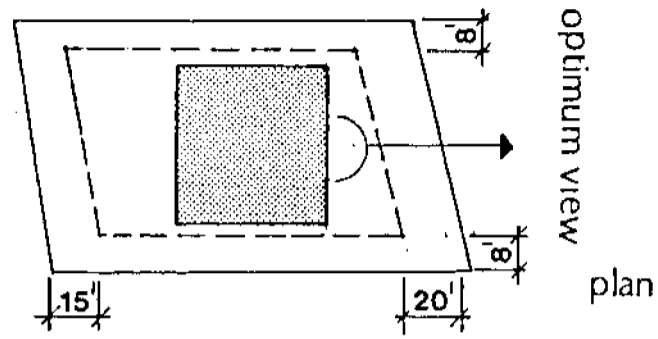


optimum view
plan

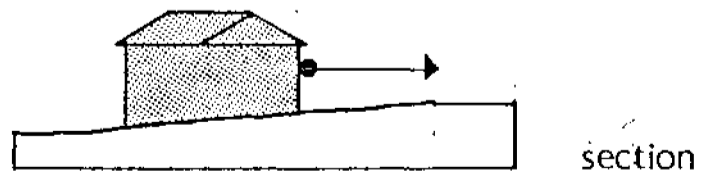
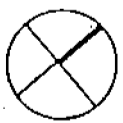
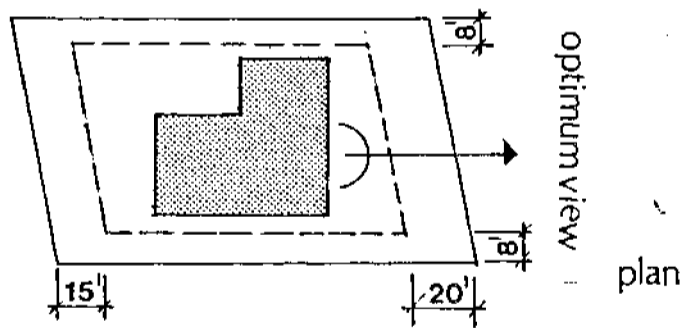


section

LOT 76: ROSES BLUFF DRIVE



LOT 77 ROSES BLUFF DRIVE



LOT 78 ROSES BLUFF DRIVE

